



Code Compliance Certificate **190160**

Section 95, Building Act 2004

The Building

Street Address of Building: **135 Fitzherbert Street, Featherston**

Legal Description of Land where Building is Located: **LOT 2 DP 21561**

Valuation Number: 1845031998

Building Name: **Detached Dwelling**

Level/Unit number: 0

Location of Building within site/block number:

Current, Lawfully Established, Use: Housing - detached Year First Constructed: **2019**

The Owner

Name of Owner: **Brookside Developments - Featherston Limited**

Mailing Address: **26 Blick Terrace, The Brook, Nelson**

Street Address/registered address: 26 Blick Terrace, The Brook, Nelson

Phone Numbers: Landline:

Mobile: 0223152592

Daytime:

After Hours:

Fax Number:

Email Address: smalltimedev@gmail.com

Website:

First point of contact for communications with the Building Consent Authority:

Brookside Developments - Featherston Limited 26 Blick Terrace, The Brook, Nelson 7010

Building Work

Building Consent Number: **190160**

Description: **Foundations & Drainage for Relocated Dwelling**

Issued by: **South Wairarapa District Council**

Code Compliance

The Building Consent Authority named below is satisfied, on reasonable grounds, that —

(a) the building work complies with the Building Consent,

Signature: 

Position: Building Control Officer

On Behalf Of: **South Wairarapa District Council**

Date: 13 November 2019



**SOUTH WAIRARAPA
DISTRICT COUNCIL**
Kia Reretahi Tātau

Application for code compliance certificate 190160

Section 92, Building Act 2004

Valuation Number: 1845031998

Project: Foundations & Drainage for Relocated Dwelling

The owner

Name of owner: **Brookside Developments - Featherston Limited**

Site Address: **135 Fitzherbert Street, Featherston**

Mailing address: **26 Blick Terrace, The Brook, Nelson 7010**

Phone number: Landline:

Mobile: **0223152592**

Daytime:

After hours:

Fax:

Email Address: **smalltimedev@gmail.com**

Website:

The following evidence of ownership is attached to this application showing full name of legal owner(s) of the building (please tick):

☒ copy of certificate of title

☐ lease

☐ agreement for sale and purchase

☐ other (specify) _____

Agent

Name of agent: **Brookside Developments - Featherston Limited**

Mailing address: **26 Blick Terrace, The Brook, Nelson 7010**

Street address/registered office:

Phone number: Landline:

Mobile: **0223152592**

Daytime:

After hours:

Fax:

Email Address: **smalltimedev@gmail.com**

Website:

Relationship to owner (state details of the authorisation from the owner to make the application on the owner's behalf):

OWNER

please turn over



Application

All building work to be carried out under the above building consent was completed on (Date) 25 OCT 19

The licensed building practitioner(s) who carried out or supervised the restricted building work is/are as follows:

Name	Licensing Class	LBP Number	Particular work carried out or supervised
PAUL BRITTON	FOUNDATIONS F2	125598	PILES

The personnel who carried out building work other than restricted building work are as follows: [list names, addresses, telephone numbers, and (where relevant and if not provided above) licensed building practitioner numbers or Plumbers, Gasfitters, and Drainlayers Board registration numbers]

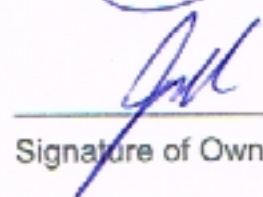
Name	Address	Phone Number	License/Registration number
HADLEY HENDERSON			ELECTRICIAN #1259690
NISEL MAINEEK			PLUMBER/DRAIN #16359

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

The code compliance certificate should be sent to:

Address 26 BLICK TERRACE, THE BROOK NELSON 7010

Being Owner / Agent (Please circle which)



Signature of Owner / Agent

IAN McCOMB
Name of person signing (please print)

Date: 29 OCT 19

Attachments

The following documents are attached to this application (please tick):

- ☒ Certificates from the personnel who carried out the work
- ☒ Certificates that relate to the energy work
- ☐ Evidence that specified systems are capable of performing to the performance standards set out in the building consent



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy



R. W. Muir
Registrar-General
of Land

Identifier **815711**
Land Registration District **Wellington**
Date Issued 01 December 2017

Prior References
234906

Estate Fee Simple
Area 828 square metres more or less
Legal Description Lot 2 Deposited Plan 21561

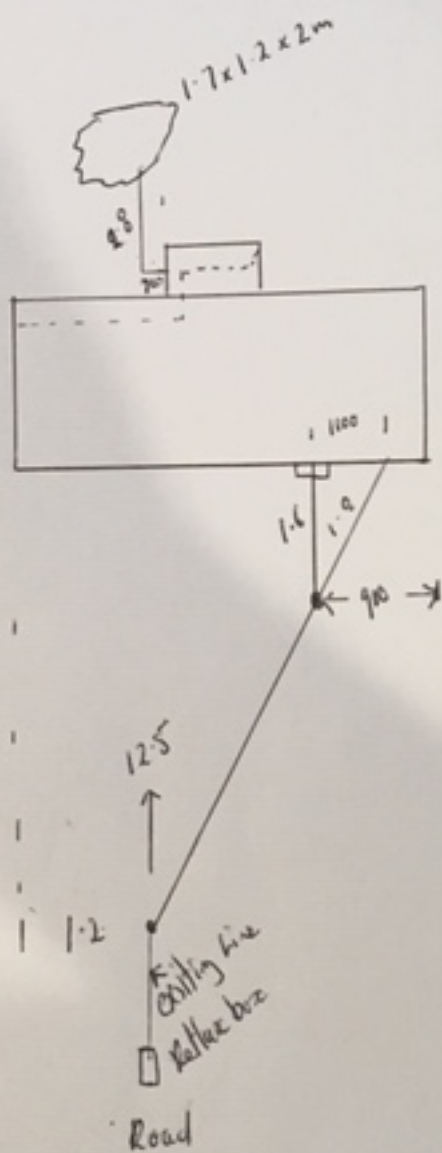
Registered Owners
Brookside Developments - Featherston Limited

Interests

Subject to electricity, water supply, sewage drainage and telecommunications easements over part marked K on DP 404854 created by Easement Instrument 7816796.1 - 15.5.2008 at 9:00 am

Appurtenant hereto are electricity, water supply, sewage drainage and telecommunications easements created by Easement Instrument 7816796.1 - 15.5.2008 at 9:00 am

Subject to a right to convey water and a right to drain sewerage parts marked A & K on DP 496331 created by Easement Instrument 10396497.1 - 21.10.2016 at 11:03 am



Brookside Developments 135 Fitzherbert st Featherston

Certificate of Compliance and Workmanship Guarantee



Location of installation:

135 Fitzhernert Street

Featherston 5710

Certificate #: 30613

Reference #: Brookside Developments

HES-194a

ICP #:

Description of work undertaken

16mm 3c N/S cable buried in 65mm ducting from pillar at road to the external switchboard installed on the tiny house. 25mm bare copper earth wire installed in trench up to earth bar. 63a Main switch installed on meter board. 18 way surface board installed inside meter box and 32a MCB installed for tiny house. Wire to and fit off all electrical fittings in tiny house, extraction fans, oven, hob, lights and power points. Tiny house internal switchboard AC controls and extra low voltage controls prewired by others on another COC.

Suppliers Declaration of Conformity(SDoC)

References to where the supplier declaration can be sourced:

- <https://www.jarussell.co.nz/compliance>

This work is:

High risk

This work is has been done

in accordance with:

Part 2 of AS/NZS 3000

This work is suitable for:

230/400V MEN system

I confirm that the following parts are safe to connect to a power supply:

Work commenced:

23 Sep 2019

Work completed:

30 Sep 2019

I confirm that the work detailed in this Certificate of Compliance has been done lawfully and safely, and that the information contained in this certificate is correct and accurate.

Signed:

Hadley Henderson

Date:

30 Sep 2019

Registration #:

I259690

Workers under supervision:

Chase Callaghan

E 280707

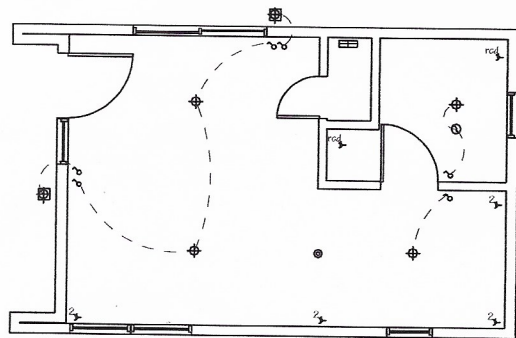
Penny White

E-TLC 148178

ECANZ

Electrical Contractors Association of New Zealand Inc.

This work is backed by the MasterElectricians
\$10,000 Workmanship Guarantee.
Details can be found at www.ecanz.org.nz.



ELECTRICAL PLAN
1:50

Electrical Key

	incandescent light
	down light
	halogen spot light
	wall light
	ventilation fan
	wall mounted exterior light
	exterior security light
	smoke detector
	light switch
	single power outlet
	double power outlet
	dishwasher power outlet
	protected power outlet
	phone outlet
	television outlet
	heated towel rail
	heater
	power distribution board
	meter board

- Ⓐ NEW TELECOM DUCT
- Ⓑ NEW ELECTRICAL DUCT
- Ⓒ MAIN SWITCH BOARD

EXISTING
TELECOM
DUCT →

← EXISTING POWER DUCT

○ ← PILLAR BOX

STATE HIGHWAY 2

Sheet 13
of 13

Project #
1836

Issue:
Consent Issue
Amendment: Date:

Gattsche House- Tiny House
103 Lake Ferry Road, Lake Ferry
LOT 6 DP 70868 BLK VIII ONOKE SD

CAD SERVICES AND DESIGN
P/L 18-06-570-1310
18-06-570-1310
email: cad.services.design@gmail.com
website: www.cadservicesanddesign.com

Drawn
WPL

Date:
11/09/2018

Scale:
Sheet size: A3

CHECK ALL
MEASUREMENTS
ON SITE



Form 6A

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

The building

Quote # **13818**

Street address of building: **135 FITZHERBERT STREET, FEATHERSTON**

The project

Building consent number: **190 160**

The owner - name **NIGEL GATTSCHKE**

Address:

Telephone number: **0274 472 785**

Email address: **nigel.gattschke01@gmail.com**

Record of work that is restricted building work

FOUNDATIONS AS PER PLANS.

SUB-FLOOR FIXINGS BY OTHERS (NOT BRITTONS)

Work that is restricted building work	Description	Carried out/ supervised
Foundations	The Design work shown on plan/s PILE FOUNDATIONS	() Carried out (<input checked="" type="checkbox"/>) Supervised

Issued by

Name: **Paul Britton**

LBP number: **BP125598**

Class(es) licensed in: **Foundations F2**

Mailing address: **564 Paremata Haywards Road, RD1, Porirua 5381**

Street address or registered office: **564 Paremata Haywards Road, RD1, Porirua 5381**

Phone number: Landline: **04 2356562** Mobile: **0274 480 551**

Daytime: **0274 480 551** After hours: **0274 480 551**

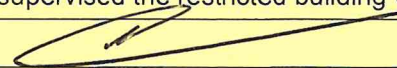
Fax number: **04 237 7491**

Email address: **paul@brittons.co.nz**

Declaration

I **Paul Britton**

carried out or supervised the restricted building work recorded on this form.

Signature: 

Date: **9 SEPTEMBER 2019**



Building Consent No. 190160

Section 51, Building Act 2004

The building

Street address of building: **135 Fitzherbert Street, Featherston**

Legal description of land where building is located: **LOT 2 DP 21561**

Building name: **Dwelling**

Level/unit number:

Location of building within the site/block number:

Valuation Number: **1845031998**

The owner

Name of owner: **Brookside Developments - Featherston Limited**

Mailing address: **26 Blick Terrace**

The Brook

Nelson 7010

Street address/registered office:

Phone number: Landline:

Mobile: **0223152592**

Daytime:

After hours:

Facsimile number:

Email address: **smalltimedev@gmail.com**

First point of contact for communications with the council/building consent authority:

Name: **CAD Services and Design**

Mailing address: **219 Masterton Stronvar Road RD 10 Masterton 5890**

Phone number: Landline: **06 370 1310**

Mobile: **021 204 6155**

Daytime:

After hours: **(06) 370 1310**

Facsimile number:

Email address: **cad.services.design@gmail.com**

Building work

The following building work is authorised by this building consent:

Foundations & Drainage for Relocated Dwelling

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

- a) It is a condition of this consent that agents authorized by the building consent authority for the purposes of section 90 of the Building Act 2004 are entitled, at all times during normal working hours or while building work is being done, to inspect –
 - i. land on which building work is being or is proposed to be carried out; and
 - ii. building work that has been or is being carried out on or off the building site; and
 - iii. any building

This building consent is subject to the following advice notes:

Building Department Notes:

See attached required items list.

This consent involves restricted building work, the Building Consent Authority must be notified of any changes to the Licensed Building Practitioners.

A memorandum (record of building work) is required to be supplied to the Building Consent Authority from each Licensed Building Practitioner who carried out and supervised Restricted Building Work. These are to be submitted as part of the application for Code Compliance Certificate at the end of the project.

Other Council Notes:

No Other Council Notes required.

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

Required Items List

Signature:



Position: Building Control Manager

On behalf of: South Wairarapa District Council

Date: 15/08/2019

REQUIRED ITEMS FOR BUILDING CONSENT BC 190160

Inspections Required

The following inspections are required:

No	Detail	Notes
1	Foundation	
1	Preline Building	
1	Drainage	
1	Building Final	
4	Total Inspections	

Documentation Required

The following documentation is required:

Application for Code Compliance Certificate

Drainage AsBuilt

Gas Certificate

Electrical Completion Certificate

LBP memos required

Licensed Building Practitioner Forms Required

RoW- Foundations 2 - Concrete or timber pile
foundations

CoW - Design 1 - LBP

Willem van der Laan

Advice Notes

An Electrical Certificate of Compliance is required to be submitted to council from the registered electrician for the electrical work completed on the project. This shall be supplied prior to the Code Compliance Certificate being issued.

A drainage as-built is to be supplied to council prior to the issue of the Code Compliance Certificate.

A Gas Certificate is required to be submitted to council from the registered gas fitter for the gas work completed on the project. This shall be supplied prior to the Code Compliance Certificate being issued.

This building consent will lapse, and be of no effect, if the building work to which it relates does not commence within 12 months after the date of issue of the building consent, or within any further period that the building consent authority may allow.

	Building Consent File Content		Consent Number:	190160
CCC file check ✓	Description	Date Placed	Comment & Reference	
	CCC			
	Refunds			
	Code Compliance Certificate	13/11/19		
	Certificate for Public Use			
	Record of Work - Carpentry			
	Record of Work - Brick & Block			
	Record of Work - Roofing			
	Record of Work - External Plastering			
	Record of Work - Foundation	30/10/19		
	Producer Statement			
	Producer Statement			
	Inspection Reports (recorded electronically)			
	Correspondence 1			
	Correspondence 2			
	Complaints about bca performance			
	Application for CCC			
	Warranties			
	Drainage As Built	30/10/19		
	Energy Work Certificates - Electrical	30/10/19		
	Energy Work Certificates - Gas	30/10/19		
	Compliance schedule			
	Notice to Fix			
	Specified intended life			
	Other documentation			
	BUILDING CONSENT			
	Amendment 1: Application & Approval			
	Amendment 2: Application & Approval			
✓	Building Consent & PIM (if required)	15.08.19		
✓	Building Consent Application	22.05.19		
✓	Building Consent checklist (form 118series)	22.05.19		
	Building Consent processing checklist (form 301 series – recorded electronically)			
	Certificate of Design Work - LBP	29/5/19		
	Certificate of Design Work - Engineer			
	Certificate of Design Work - Architect			
	Invoice (recorded electronically)			
	Owner builder declaration			
	Correspondence 1			
	Correspondence 2			
	Other NUO information			
	NZ historic places trust			
✓	PIM: CT/Consent Notices	30.05.19		
	MBie Notification (Warning &			
✓	Plans & Specifications	22.05.19		
	Producer Statement			
	Producer Statement			
	Relocate: Condition Reports			
	Photos (recorded electronically)			
	Consultant Reports			
	Fire Design			
	Peer Review			
	Geotech			
	FEU			
	Regional Authority Consent			
	Other documentation			
*The Following TA records are held on the property file: Section 126, district court orders Complaints and responses				
*The BWoF is held I the BWoF File				

Value: \$5000		Initials: SE
BC Number: 190160	Owner: Brookside	

Fees Payable	\$
Building Consent	\$1664.00
BR Levy @ \$1 per 1000 Applies to all building work \$20,000 and over	
Building Levy @ \$2.01 per 1000 Applies to all building work \$20,444 and over	
Infrastructure Protection Deposit \$1,000	\$1000.00
CT	
Other Print consent	
Scanning & administration fee	\$77.00
TOTAL	\$2741.00

Paid by DC



RESIDENTIAL APPLICATION FOR A BUILDING CONSENT

and/or project information memorandum

Building Act 2004, section 33 or section 45

Send or deliver your application to: **The Building Department,
South Wairarapa District Council, 19 Kitchener Street, Martinborough 5711**

For enquiries, phone 06 3069611

Please provide one copy of all attachments, **unless otherwise specified in checklist**

Type directly on this form, or download and fill in a paper copy.

Council use only:

Application #

Property ID

PART 1 – APPLICATION (SELECT TYPE APPROPRIATELY)

If you have an existing application number relating to this building please note the number beside the application type

☐ project information memorandum

☒ building consent

☐ staged consent

☐ amendment

☐ national multi-use approval (*If yes provide copies of MultiProof certificate, plans and specifications*)

Consent/project information memorandum to be

☐ mailed ☐ collected ☒ emailed

Restricted building work

Does application involve restricted building work? ☒ yes ☐ no

If yes provide Certificate(s) of design work and Advice of licensed building practitioner(s) form(s)

Financial assistance package (FAP)

Is this a re-clad application? ☐ yes ☒ no

Is application subject to a claim under the FAP scheme? ☐ yes ☒ no If yes, FAP claim number

Cultural or heritage significance

Does the building or site have any cultural or heritage significance, or is it a marae? ☐ yes ☒ no

Is the site subject to natural or created hazards such as erosion, subsidence, flooding, slips, cut and fill or contamination?

☐ yes ☒ no If yes provide details

The building (PROJECT LOCATION)

Building name (*if applicable*) Tiny House relocation

Building street address 135 Fitzherbert street, Featherston

Location of building within the site (*include nearest street access*)

Legal description of land where the building is located. If a subdivision of the land is proposed provide the lot numbers and consent number

Lot(s) Lot 2

Subdivision lot No:

DP(s) DP 21561

Subdivision consent No:

Number of levels (*include below ground, ground and above ground*) Single

Level/unit number (if applicable)		
Area (in square metres)		
Existing floor area:	Proposed new floor area: 25	Resulting total floor area: 25
Current, lawfully established use of all parts of the building (include number of occupants per level and per use if more than one level)		
Batch - detached dwelling		
Year first constructed (insert year, an approximate date is acceptable such as 1920's or 1960-1970) 2018		

The owner (MUST BE COMPLETED FOR ALL APPLICATIONS AND ALL DETAILS MUST BE THE OWNER'S)

Owner's name. If the owner is a company or other organisation provide the company or organisation name and a contact person's name

Brookside Developmenets - Featherston Ltd - Ian McComb

Owner's mailing address

Street address/registered office

Owner's contact details

Landline	Mobile 0223152592	After hours
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Fax	Email smalltimedev@gmail.com	Website
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Proof of ownership – attach one of the following as evidence

☒ Copy of the land title (Computer register, Certificate of Title, CT or property title) – no more than three months old.
☐ Lease ☐ Agreement for sale and purchase

AGENT (only required if application is being made on behalf of the owner)

Name of agent. If application is for a company, trust or other organisation provide a contact person's name

CAD Services and Design

Agent's mailing address 219 Masterton Stronvar road, RD10, Masterton

Street address/registered office

Agent's contact details

Landline: 06-370-1310	Mobile: 021-204-6155	After hours:
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Fax:	Email: cad.services.design@gmail.com	Website:
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Relationship to owner (state the details of the owner's authorisation if making this application on the owner's behalf)

Agent

First point of contact (mark boxes as appropriate and provide details of any other points of contact)			
Further information	<input checked="" type="checkbox"/> Agent	<input type="checkbox"/> Owner	<input type="checkbox"/> Other
Correspondence	<input checked="" type="checkbox"/> Agent	<input type="checkbox"/> Owner	<input type="checkbox"/> Other
Invoicing	<input type="checkbox"/> Agent	<input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Other

Contacts (PROVIDE ALL DETAILS WHERE RELEVANT)


Designer or Architect	Business/name CAD Services and Design	
Address 219 Masterton Stronvar road, RD10, Masterton		
Registration/qualification BP109511	Mobile 021-204-6155	Landline 06-370-1310
Email cad.services.design@gmail.com	After hours phone	Fax
Structural engineer	Business/name	
Address		
Registration/qualification	Mobile	Landline
Email	After hours phone	Fax
Fire safety designer	Business/name	
Address		
Registration/qualification	Mobile	Landline
Email	After hours phone	Fax
Head Contractor / Site Manager	Business/name Nigel Gattsche	
Address		
Registration/qualification	Mobile	Landline
Email	After hours phone	Fax
Builder	Business/name	
Address		
Registration/qualification	Mobile	Landline
Email	After hours phone	Fax
Plumber	Business/name	
Address		
Certifying Plumber/qualification	Mobile	Landline
Email	After hours phone	Fax
Drainlayer	Business/name	
Address		
Certifying Drainlayer/qualification	Mobile	Landline
Email	After hours phone	Fax

Other (Attach additional page if required)		
Role	Business/name	
Address		
Email	Registration/qualification	Landline
Mobile	After hours phone	Fax

Application

I request that you issue a

- ☐ Project Information Memorandum
☐ Project Information Memorandum and Building Consent
☒ Building Consent
 for the building work described in this application.

Signed by the owner	OR	Signed by the agent (on behalf of, or with the authority from, the owner)
Signature		Signature 
Name		Name Willem van der Laan
Date		Date 16/05/2019

Privacy information

The information you have provided on this form is required so that your building consent application can be processed under the Building Act 2004. The Council collates statistics relating to issued building consents and has a statutory obligation to forward these regularly to Statistics New Zealand. The Council stores the information on a public register, which must be supplied (as previously determined by the Ombudsman) to whoever requests the information.

Under the Privacy Act 1993 you have the right to see and correct personal information the Council holds about you.

PART 2 – PROJECT

General information

Description of the building work (provide sufficient description to enable full understanding of the scope of the work).

Relocate tiny house Foundations and Drainage only

Has a pre-application meeting been attended? ☐ Yes ☒ No

Number

Will the building work result in a change of use of any part of the building? (If yes, provide details of the new use)

☐ Yes ☒ No

Intended life of the building stated in years, only if intended to be less than 50 years old ---

List building consents previously issued for the project (if any). List who issued the consent, the date of issue and the consent number.

NA

Estimated value of the building work on which the building levy will be calculated (including goods and services tax) [state estimated value as defined in section 7 of the Building Act 2004].

\$5k

PART 3 – SITE ISSUES AND PROJECT INFORMATION

Site issues	Applicant to complete	Reference on drawings, specifications and/or comments	Council use only
Are the finished floor, finished ground, street and associated datum levels shown on plans?	See comment	Refer Cross section sheet 6	<input type="checkbox"/> Verified
Are the distances to boundaries shown on plans?	Shown on site		
Does the proposed work cover two or more allotments?	One lot		
What is the wind zone?	High	EH used for design purposes	
What is the exposure zone?	Zone B		
Are there public drains on the site?	No		
Is the site subject to natural or created hazards such as erosion, subsidence, flooding, slips, cut and fill or contamination? If yes, provide details.	No		
Are the ground conditions specified?	Not Applicable		

Project information

Select box if the matter is part of the project	Comments
Subdivision <input type="checkbox"/>	
Alterations to land contours <input type="checkbox"/>	
New or altered connection to public utilities <input type="checkbox"/>	
New or altered locations and/or external dimensions of building(s) <input checked="" type="checkbox"/>	
New or altered access for vehicles <input type="checkbox"/>	
Building work over or adjacent to any road or public place <input type="checkbox"/>	
Disposal of stormwater and wastewater <input checked="" type="checkbox"/>	
Building work over any existing drains or sewers or in close proximity to wells or water mains <input type="checkbox"/>	
Other matters known to the applicant that may require authorisation from the appropriate territorial authority <i>[specify]</i> <input type="checkbox"/>	

PART 4 – COMPLIANCE

Do not fill in this section if this application is only for a project information memorandum

All documentation, including plans, specifications, calculations and producer statements, used to show building consent compliance must be formally listed as attachments in the accompanying checklist.

The building work will comply with the building code as follows

Please ensure that any details of the listed compliance elements are shown on drawings and/or specifications.

B1: Structure

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
B1: Foundations	applicable		<input type="checkbox"/> Checked
foundation size	<input type="checkbox"/> Specific engineering design <input checked="" type="checkbox"/> NZS 3604 <input type="checkbox"/> NZS 4229		
reinforcing			
foundation/footings for retaining walls			
B1: Slab	Not applicable		
layout dimensions	<input type="checkbox"/> Specific engineering design <input type="checkbox"/> NZS 3604 <input type="checkbox"/> NZS 4229		
thickness			
reinforcing			
slab thickening/point loads			
fixing/connections			
B1: Timber sub-floor and floor	applicable		
pile details including bracing	<input type="checkbox"/> Specific engineering design <input checked="" type="checkbox"/> NZS 3604		
bearers and joist details including support/blocking details			
flooring material and floor height above ground			
fixing/connection			
B1: Walls	Not applicable		
wall type, height, centres, member sizes and bracing	<input type="checkbox"/> Specific engineering design <input type="checkbox"/> NZS 3604 <input type="checkbox"/> NZS 4210 <input type="checkbox"/> NZS 4229 <input type="checkbox"/> NZS 4230		
window and door framing details including lintels			
fixing/connection			
B1: Roof	Not applicable		
layout/trusses including member centres sizes and bracing	<input type="checkbox"/> Specific engineering design <input type="checkbox"/> NZS 3604		
purlin/batten centres and sizes			
beams centres and sizes			
fixing/connection			

B1: Structure

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
B1: Barrier fixings	Not applicable		
rail, fence, baluster fixings	<input type="checkbox"/> Specific engineering design		

B2: Durability

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
B2: Durability	Not applicable		<input type="checkbox"/> Checked
concrete/masonry	<input type="checkbox"/> B2/AS1 <input type="checkbox"/> NZS 3101 <input type="checkbox"/> NZS 3404 <input type="checkbox"/> NZS 3602 <input type="checkbox"/> NZS 3604 <input type="checkbox"/> NZS 4229 <input type="checkbox"/> NZS 4230 <input type="checkbox"/> Other [specify]		
timber treatment			
metal			
subfloor and roof/skillion ventilation			
plumbing materials			

C1-C6: Protection from fire

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
C1-C6: Protection from fire	applicable		<input type="checkbox"/> Checked
C1: Objectives of clauses C1 to C6 (Protection from fire)	<input type="checkbox"/> C/VM2 <input type="checkbox"/> C/VM1 and C/AS1 <input type="checkbox"/> C/AS2 <input type="checkbox"/> C/AS3 <input type="checkbox"/> C/AS4 <input type="checkbox"/> C/AS5 <input type="checkbox"/> C/AS6 <input type="checkbox"/> C/AS7 <input type="checkbox"/> Other [specify]	smoke Alarm	
C2: Prevention of fire occurring			
C3: Fire affecting areas beyond the fire source			
C4: Movement to place of safety			
C5: Access and safety for fire fighting operations			
C6: Structural stability			

D1-D2: Access

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
D1: Access routes	applicable		<input type="checkbox"/> Checked
slip resistance	<input checked="" type="checkbox"/> D1/AS1 <input type="checkbox"/> AS/2890.1 <input type="checkbox"/> Other [specify]		
landing size			
handrail			
stair dimension including tread and riser			
ramps			

D1-D2: Access

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
head height clearance			
vehicle access: parking, loading spaces and driveway			
D2: Mechanical installations for access	Not applicable		
lift	<input type="checkbox"/> D2/AS1 <input type="checkbox"/> D2/AS2 <input type="checkbox"/> NZS 5279 <input type="checkbox"/> Other [specify]		
external platform/chairlift			
cable car			

E1-E3: Moisture

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
E1: Site drainage (surface water)	applicable		<input type="checkbox"/> Checked
secondary flow path	<input checked="" type="checkbox"/> E1/AS1 <input type="checkbox"/> E1/VM1 <input type="checkbox"/> AS/NZS 3500.3 <input type="checkbox"/> AS/NZS 3500.5 <input type="checkbox"/> Other [specify]		
stormwater disposal method: gravity controlled, storage-pumped systems to Council main, soak pit or street kerb with channel			
surface water and field drains to silt sumps			
E1: Roof water dispersal (surface water)			
internal/external gutter including rainwater head, scupper opening details	<input type="checkbox"/> E1/AS1 <input type="checkbox"/> E1/VM1 <input type="checkbox"/> AS/NZS 3500.3 <input type="checkbox"/> AS/NZS 3500.5 <input type="checkbox"/> Other [specify]		
roof and deck catchment area, pitch (roof and/or deck) including downpipe size and number			
E2: Floor (external moisture)	Not applicable		
floor height above ground	<input type="checkbox"/> E2/AS1 <input type="checkbox"/> Other [specify]		
damp-proof membrane			
deck threshold with door details			
E2: Decks and balconies (external moisture)	Not applicable		
waterproof membrane details including eaves, barges, junction with walls, barrier fixings, outlets and overflows	<input type="checkbox"/> E2/AS1 <input type="checkbox"/> Other [specify]		
balustrade detail of flashing, capping, junctions and penetration			
E2: Walls (external moisture)	Not applicable		

E1-E3: Moisture

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only	
building wrap	<input type="checkbox"/> E2/AS1 <input type="checkbox"/> Other [specify]			
head, jamb and sill flashing details				
cavity or direct fix cladding system including: flashing details for external and internal corners, junctions with other materials, vertical and horizontal control joints				
cladding clearances between floor level, ground level and/or membrane deck level				
tanking/damp proof membrane to retaining wall				
E2: Roof (external moisture)	Not applicable			
building wrap	<input type="checkbox"/> E2/AS1 <input type="checkbox"/> Other [specify]			
type of roof: profiled metal roof, concrete, clay tile roof etc				
membrane roof				
flashing of penetrations				
flashings of junctions: eave, ridge, valley, apron and upstands				
Flashing of parapets: junctions and penetration				
skylight details and flashings				
roof spouting, downpipe, solar panel fixings				
E3: Internal moisture	Not applicable			
wall and floor impervious lining	<input type="checkbox"/> E3/AS1 <input type="checkbox"/> AS/NZS 3500.2 <input type="checkbox"/> Other [specify]			
wet area membrane				
bath or shower junction details				
floor overflow control for sanitary rooms such as bathroom, toilet, kitchen – only required for more than one unit				

F1-F8: Safety of users

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
F1: Hazardous agents onsite	Not applicable		<input type="checkbox"/> Checked
contaminated site	<input type="checkbox"/> F1/VM1 <input type="checkbox"/> Other [specify]		

F1-F8: Safety of users

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
F2: Hazardous building materials	Not applicable		
glass barriers, windows, doors, screens, mould, asbestos etc	<input type="checkbox"/> F2/VM1 <input type="checkbox"/> NZS 4223.3		
bathroom windows	<input type="checkbox"/> Other [specify]		
F4: Safety from falling	Not applicable		
minimum height for internal and external barriers and barrier opening sizes (ie no toe holds)	<input type="checkbox"/> F4/AS1 <input type="checkbox"/> FSP Act <input type="checkbox"/> Other [specify]		
minimum window sill height and window restrictors required if there is potential for fall hazard			
F5: Site safety	applicable		
fencing/hoarding/overhead protection	<input checked="" type="checkbox"/> F5/AS1		
traffic plan	<input type="checkbox"/> Other [specify]		
encroachment/Council approval			
F7: Warning systems	Not applicable		
smoke detectors	<input type="checkbox"/> F7/AS1		
other warning systems specified	<input type="checkbox"/> Other [specify]		
F8 Signs	Not applicable		
signs	<input type="checkbox"/> F8/VM1 <input type="checkbox"/> F8/AS1 <input type="checkbox"/> Other [specify]		
F9 Restricting access to residential pools	Not applicable		
Pool fencing	<input type="checkbox"/> F9/AS1 <input type="checkbox"/> F9/AS2 <input type="checkbox"/> Other [specify]		

G1-G15: Services and facilities

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
G1-G3: Bathroom, laundry and kitchen	Not applicable		<input type="checkbox"/> Checked
G1: bathroom fixtures and layout	<input type="checkbox"/> G1/AS1 <input type="checkbox"/> Other [specify]		
G2: laundry fixtures and layout	<input type="checkbox"/> G2/AS1 <input type="checkbox"/> Other [specify]		
G3: kitchen fixtures and layout	<input type="checkbox"/> G3/AS1 <input type="checkbox"/> Other [specify]		

G1-G15: Services and facilities

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only	
G4: Ventilation	Not applicable			
natural ventilation	<input type="checkbox"/> G4/AS1 <input type="checkbox"/> G4/VM1 <input type="checkbox"/> NZS 4303 <input type="checkbox"/> AS 1668.2 <input type="checkbox"/> Other [specify]			
mechanical ventilation				
conditioned areas (living area) ventilation				
ventilation of gas-fired appliances				
G6: Airborne and impact sound	Not applicable			
sound transmission class and sound transmission insulation details (vertical and horizontal transfer) including at penetrations (pipes)	<input type="checkbox"/> G6/AS1 <input type="checkbox"/> G6/VM1 <input type="checkbox"/> Other [specify]			
G7-G8: Natural and artificial light	Not applicable			
G7: natural light to habitable space (eg glazing greater 10 percent of floor area)	<input type="checkbox"/> G7/AS1 <input type="checkbox"/> G7/VM1 <input type="checkbox"/> NZS 6703 <input type="checkbox"/> G8/AS1 <input type="checkbox"/> G8/VM1 <input type="checkbox"/> Other [specify]			
G7: outside visual awareness				
G8: artificial lighting details				
G9: Electricity	Not applicable			
Electricity	<input type="checkbox"/> G9/VM1 <input type="checkbox"/> G9/AS1 <input type="checkbox"/> Other [specify]			
G10-G11: Piped services and gas used as an energy source	Not applicable			
G10: ventilation and airflow for gas appliances	<input type="checkbox"/> G10/AS1 <input type="checkbox"/> G11/AS1 <input type="checkbox"/> NZS 3500.4 <input type="checkbox"/> NZS 5261 <input type="checkbox"/> Other [specify]			
G10: specified gas appliances types				
G11: gas supply type				
G12-G13: Water supply and foul water	Applicable			
G12: water supplies: pipe material, type of hot water system	<input type="checkbox"/> G12/AS1 <input type="checkbox"/> G12/AS2 <input checked="" type="checkbox"/> AS/NZS 3500.1&4 <input type="checkbox"/> AS/NZS 3500.5 <input type="checkbox"/> Other [specify]			

G1-G15: Services and facilities

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
G13: foul water: pipe sizing, materials, venting and overflow relief gullies	<input type="checkbox"/> G13/AS1 <input type="checkbox"/> G13/AS2 <input type="checkbox"/> G13/AS3 <input checked="" type="checkbox"/> AS/NZS 3500.2 <input type="checkbox"/> AS/NZS 3500.5 <input type="checkbox"/> Other [specify]		

H1: Energy efficiency

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
H1: Energy efficiency	Not applicable		<input type="checkbox"/> Checked
hot water heater and pipe insulation	<input type="checkbox"/> H1/AS1 <input type="checkbox"/> H1/VM1 <input type="checkbox"/> NZS 4218 <input type="checkbox"/> NZS 4305 <input type="checkbox"/> ALF design <input type="checkbox"/> Other [specify]		
insulation: wall, roof, floor, glazing, etc			

Waivers and/or modifications

Provide details of any waivers and/or modifications required for any sections of the New Zealand Building Code. Specify parts of the code; supporting documentation must be attached. If not applicable, state n/a

PART 5 – COMPLIANCE SCHEDULE (INSPECTION, MAINTENANCE AND REPORTING PROCEDURES)

Do not fill in this section if this application is only for a project information memorandum

Is a cable car installed?	<input type="checkbox"/> Yes (a compliance schedule is required, continue completing this section of the form)								For Council use only <input type="checkbox"/> Checked
	<input checked="" type="checkbox"/> No								
The following system is existing, being altered, added to, or removed in the course of the building work	Existing	New	Altered	Added	Removed	Inspection performance standards	Maintenance performance standards	Reporting frequency	
Cable car	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/> Checked
If existing cable car, please state the Building Warrant of Fitness No.									<input type="checkbox"/> Checked



CHECKSHEET

Single Residential Dwelling and Accessory Building (Form 118A)

Use for single stand-alone dwellings, dwelling additions and/or alterations, relocated buildings repiles, garages, decks, sheds, retaining walls, etc

This checklist shows you the information that has to be supplied with your building consent application. Please attach **1 copy** of the following information (unless otherwise specified) with your completed Building Consent Application form.

Please tick each relevant box in the selection box as you attach the information. If the section is not relevant to your application check the Not Applicable box as appropriate. If part of a section is not relevant leave the check box blank. Please check each section carefully and complete those sections that are relevant to your project. This check sheet is to be submitted with the building consent application.

Once you have attached all the required information, please check for completeness as an incomplete application or lack of any supporting information will mean that your application cannot be accepted for processing.

REQUESTS FOR FURTHER INFORMATION CAUSE DELAYS IN THE ISSUE OF BUILDING CONSENT.

Attached documents included for:	Select the appropriate box for the documents provided	Council use only
1. General – Complete for all applications		
Building Consent Application Form (1 copy) Completed and signed by the owner or by an agent on behalf of the owner	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> Checked
Restricted Building Work (RBW) A design memorandum is required from 1 or more licensed building practitioners (LBP) who have carried out or supervised the design work.	<input checked="" type="checkbox"/>	
Proof of ownership (1 copy) One recent copy of <u>current</u> certificate/s of title (i.e. not older than 3 months) and one copy of purchase agreement (if recently purchased) or one copy of relevant portions of current lease	<input checked="" type="checkbox"/>	
Locality plan (1:500) showing: Physical location of the subject building in relation to streets or landmarks, north point, name of building and lot and DP number	<input checked="" type="checkbox"/>	
Application fee Applications will not be accepted without payment of the appropriate fees. Fees payable are set out in the published fee schedule	<input checked="" type="checkbox"/>	
2 Demolition / Removal – Applicable <input type="checkbox"/> Not applicable <input checked="" type="checkbox"/>		
COMPLETE FOR ALL PROJECTS INVOLVING DEMOLITION OF SIGNIFICANT PARTS OF BUILDINGS OR THE DEMOLITION OR REMOVAL OF WHOLE BUILDINGS. Note: Where the project is <u>only</u> for the complete removal or demolition of a building you are not required to complete any further sections		<input type="checkbox"/> Checked
Means of barricading the site Provide details of temporary barriers, gates which swing inwards or other means of restricting public access to the area	<input type="checkbox"/>	
Proposed tipping location for demolition materials (address/landfill)	<input type="checkbox"/>	
Hazardous building materials	<input type="checkbox"/>	

Provide safety plan detailing the safe handling and disposal of hazardous materials		
Site management plan covering management to control silt run off, noise and dust	<input type="checkbox"/>	
Proposed destination for relocated building	<input type="checkbox"/>	
Access to and from the site including (use of kerb and crossings)	<input type="checkbox"/>	
Specify termination of all existing services. Urban sewer sealed at council main.	<input type="checkbox"/>	
3 Foundations / Floor - Applicable - <input checked="" type="checkbox"/> Not applicable <input type="checkbox"/>		
COMPLETE FOR ALL NEW BUILDINGS, FOR EXISTING BUILDINGS WHERE THE FOOTPRINT OF THE BUILDING WILL CHANGE OR WHERE AN ADDITIONAL STOREY IS BEING ADDED		<input checked="" type="checkbox"/> Checked
Site Plan (1:100) showing Dimensions of all boundaries, north point, finished floor levels, ground contours (extended to boundaries) and/or levels, site area, street name and number, lot and DP number, outline of building and distances to boundaries	<input checked="" type="checkbox"/>	
Foundation plan (1:100/1:50) showing: dimensions of all new foundations, sub-floor, including bracing, footing details, piles and footings if a concrete slab, show basic details including reinforcing and contractions joints, , if the addition is an upper storey show details on upgrading existing foundations, joints, piles, etc, indicate ventilation to sub floor spaces.	<input checked="" type="checkbox"/>	
Subfloor bracing Provide subfloor bracing plan and calculations for all piled structures. Where the structure is specifically engineered, this should be included with the structural calculations Subfloor bracing plan and calculations are required where an additional storey is to be added. Sub-floor bracing for decks projecting more than 2m from the house.	<input checked="" type="checkbox"/>	
Foundation details Details including reinforcing and connections	<input checked="" type="checkbox"/>	
4 Construction - Applicable <input checked="" type="checkbox"/> Not applicable <input type="checkbox"/>		
COMPLETE FOR ALL NEW STRUCTURES OR ALTERATIONS TO EXISTING STRUCTURES		<input type="checkbox"/> Checked
Existing floor plan (1:100/1:50) (for additions and alterations only) all levels, all designated spaces, all removals, sanitary fixtures, smoke detectors	<input checked="" type="checkbox"/>	
Proposed floor plans (1:100/1:50) <input type="checkbox"/> oom dimensions, location of partitions, all designated spaces, all floors (new or altered), location of sanitary fixtures, stairs, barriers, handrails, floor joists and beams, floor joist layout for each level with timber floors, smoke detectors, access into the building (including ground and floor levels)	<input type="checkbox"/>	
Wall bracing plan (1:100/1:50) Bracing details and calculations for wall bracing (also required for existing lower storeys where an additional storey is being added). Location, type and number of bracing elements to indicate compliance with NZS 3604 (include calculations) If the bracing was specifically designed by a structural engineer, provide calculations (required for specific design wind zones and lateral distribution of upper floor loads where lower storey bracing is provided in walls beyond the upper storey footprint).	<input type="checkbox"/>	
Sections and details (1:50/1:20/1:10) stairs, handrails, decks and decking, insulation systems and materials to floors, walls and roof including a calculation sheet showing the method of compliance with H1 of the Building Code. Specific engineering design required for barriers providing safety from falling on upper decks. Framing sizes, beams, lintels, trusses including fixing and other structural items. Lintels carrying point loads, such as from girder trusses, require specific engineering design. Roof cladding, eaves, fascias, gutters, flashings to openings. Fire rated systems on all walls - closer than 1 metre to boundary. Stud heights of rooms and total height from lowest ground floor level to top of ridge. Truss layout supported by	<input type="checkbox"/>	

design certificate and design of fixing details and load path to ground. Retaining wall details e.g. type, height of retained ground, relationship to boundary, waterproof membrane and proposed drainage. truss design details.		
Application for Discretion re Upgrades (if requested) (pursuant to section 112(2) of the Building Act 2004) including Supporting information as to why the project would not proceed if the building was required to comply Description of improvements proposed related to means of escape from fire.	<input type="checkbox"/>	
5 Structural Applicable <input type="checkbox"/> Not applicable <input checked="" type="checkbox"/>		
Structural calculations If any design work required the services of a structural engineer, attach 2 copies of the calculations with this application along with structural drawings The calculations must be prefaced with information explaining the design philosophy and justification of assumptions and methodologies used in analysis	<input type="checkbox"/>	<input type="checkbox"/> Checked
Producer statements If this application for consent relies on any producer statements certifying compliance with the New Zealand Building Code, a copy must be attached with this application. (Note all structural producer statements are required to have accompanying calculations). A peer review of the SED may be required. Please refer to the BCA's public information for when a peer review is required. This can be found at http://www.swdc.govt.nz/node/19 If a peer review is proposed or has been completed for the SED then confirmation is required at the consent application stage that the peer reviewing engineer is a CPEng and has the correct competence to complete the peer review. A printout from the IPENZ register for CPEng engineers confirming their CPEng status and a letter from IPENZ confirming their area of expertise is required.	<input type="checkbox"/>	
6 External Applicable <input checked="" type="checkbox"/> Not applicable <input type="checkbox"/>		
COMPLETE FOR NEW BUILDINGS OR EXISTING BUILDINGS WITH ALTERATIONS TO THE EXTERNAL SHELL		<input checked="" type="checkbox"/> Checked
Elevations (1:100/1:50) Accurate lines from boundary to boundary on each elevation, relevant District Plan daylight control lines, the maximum height on each elevation, location of door and window openings, fixed and opening sashes, sill heights, floor levels in relation to ground levels, exterior cladding nominated to all elevations, down pipes and spouting, ventilators to sub-floor area (suspended floors only).	<input checked="" type="checkbox"/>	
Risk assessment <i>(Risk matrix in E2/AS1 may be used)</i> Consider exposure, design and detailing to support appropriate selection of cladding	<input type="checkbox"/>	
Cladding details (1:50/1:20/1:10) Provide details around all penetrations, joinery and other junctions at a level appropriate to the level of risk e.g. roof/wall, balcony/ wall, junction of different types of cladding, backflashing details for cavity systems	<input type="checkbox"/>	
Product certification Supply copies of product certificates relied on as compliance documents	<input type="checkbox"/>	
Alternative solutions If the proposal uses products or systems that are not covered in the Acceptable Solutions of clause E2 of the building code provide supporting current information including independent test results (full signed reports), case studies, expert opinion (including evidence of experience/qualification, basis for forming opinion, and statement of independence) etc to demonstrate compliance.	<input type="checkbox"/>	
7 Services -Applicable <input checked="" type="checkbox"/> Not applicable <input type="checkbox"/>		
COMPLETE FOR ALL PROJECTS WITH NEW INSTALLATION OR ALTERATION OF PLUMBING OR DRAINAGE SERVICES		<input checked="" type="checkbox"/> Checked
Plumbing and Drainage plan (1:100) fixtures and fittings, hotwater system(s)	<input checked="" type="checkbox"/>	

<p>If the building is more than one storey with sanitary fittings on upper floors, provide an isometric layout showing wastes, pipes and falls.</p> <p>Drainage layout with inspection bends and junctions indicated for both sewer and stormwater, any other drainage on site including council mains and retaining wall field drains.</p> <p>Ventilation of sanitary rooms.</p> <p>Calculations for sizing of downpipes, gutters and soakage pits.</p>		
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--	--

8 Specifications		
COMPLETE FOR ALL APPLICATIONS		<input checked="" type="checkbox"/> Checked
Specification: General elements of structure (size, spacing, timber treatment) finish of fixings to meet durability requirements, plumbing and drainage materials and design that installation is to comply with, wet area surfaces, ventilation systems, flooring slip resistance for access routes, glazing, type of smoke detectors (including existing smoke detectors where they will remain)	<input checked="" type="checkbox"/>	
External claddings For each of the following claddings provide details of the product name, manufacturer, maintenance requirements and warranties offered Building wraps, Wall claddings, Roof claddings, Membranes (roofs and decks), Tanking, Joinery.	<input type="checkbox"/>	
9 Change of use -Applicable <input type="checkbox"/> Not applicable <input checked="" type="checkbox"/>		
COMPLETE FOR ALL EXISTING BUILDINGS WHERE THE PROPOSAL INVOLVES FORMING A HOUSEHOLD UNIT WHERE ONE DID NOT EXIST BEFORE		<input checked="" type="checkbox"/> Checked
Assessment of the building for compliance with the building code Section 115(a) of the Building Act 2004 requires that the work comply fully with all clauses of the building code, as near as reasonably practicable.	<input type="checkbox"/>	
Reasonably practicable The above assessment must relate to all building code clauses. If the proposal is for the project to meet anything less than full compliance with any clauses, your application must clearly state your reasoning, with supporting documentation, and show how you will meet the highest level of compliance that can be considered reasonably practicable.	<input type="checkbox"/>	

Office Use

VETTING

Accepted ☒ Refused ☐

Reason for acceptance or refusal: Required documents supplied

Signed: S. Edney

Date: 22/5/19

BUILDING LEVEL

Level Description	Level	Building Work Description
Residential outbuildings and ancillary buildings	R1	Residential outbuildings and ancillary buildings – as defined by the Building Regulations 1992. Detached dwellings (SH) designed to a common standard (e.g. NZS 3604, NZS 4229) that are single storey and have an E2/AS1 risk matrix score less than or equal to 6.
Detached dwellings (SH or SR)	R2	Detached dwellings (SH) designed to a common standard (e.g. NZS 3604, NZS 4229) that are less than or equal to two storeys and have an E2/AS1 risk matrix score less than or equal to 12.
	R3	Detached dwellings (SH) or other dwellings (SR) that are less than or equal to three storeys but limited to vertical plane fire separation and direct egress to the outside. E2/AS1 risk matrix score of 13-20.
Commercial, Industrial and Communal	C1	Commercial, industrial and communal non residential buildings and their associated outbuildings and ancillary buildings equal to or less than two storeys and an occupancy load of equal to or less than 100 people or SR or SA residential buildings up to two storeys and with horizontal fire separation.
	C2	Commercial, industrial, communal residential and communal non residential buildings equal to or less than four storeys and an occupancy load of equal to or less than 500 people or SC or SD that are single storey.
High rise and/or specialist buildings	C3	All uses of buildings that are over four storeys high, or contain over 500 occupants or SC or SD greater than single storey.

Building Level (from above): R1

Reason for decision: Residential dwelling relocate low risk

Date: 22/5/19

Outcome: SWDC BCA to process

ALLOCATION

BCO ☒

P&D ☒

Other consultants ☐

Health ☐



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier 815711
Land Registration District Wellington
Date Issued 01 December 2017

Prior References
234906

Estate	Fee Simple
Area	828 square metres more or less
Legal Description	Lot 2 Deposited Plan 21561

Registered Owners
Brookside Developments - Featherston Limited

Interests

Subject to electricity, water supply, sewage drainage and telecommunications easements over part marked K on DP 404854 created by Easement Instrument 7816796.1 - 15.5.2008 at 9:00 am

Appurtenant hereto are electricity, water supply, sewage drainage and telecommunications easements created by Easement Instrument 7816796.1 - 15.5.2008 at 9:00 am

Subject to a right to convey water and a right to drain sewerage parts marked A & K on DP 496331 created by Easement Instrument 10396497.1 - 21.10.2016 at 11:03 am



Diag. A

Part Section 127 Featherston SBRN

3

4.1622Ha

1

0.1936Ha

2

0.0827Ha

Diag. AA
See T3

Lot 3 DP 21561

Fitzherbert Street

T18-124 Collins

Land District: Wellington

Digitally Generated Plan

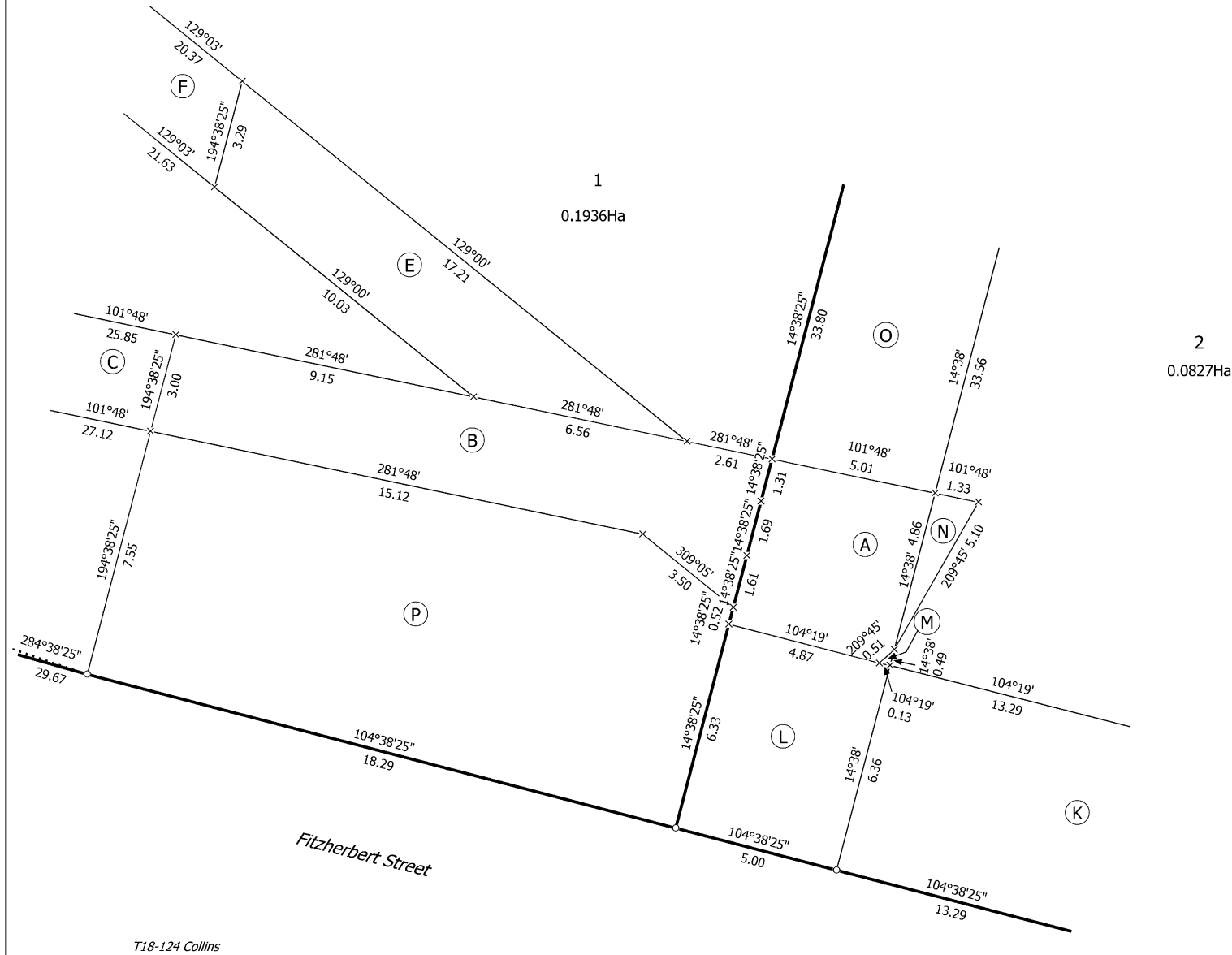
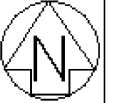
Generated on: 13/02/2019 08:23am Page 4 of 6

LOTS 1 TO 3 BEING SUBDIVISION OF LOTS 1 & 2 DP 21561 AND Pt SECS
126 & 127 FEATHERSTON SUBURBAN

Surveyor: Eric Richard Andrew Dodd
Firm: Tomlinson and Carruthers Surveyors

Title Plan
LT 532420
DRAFT

T 2/4



CAD SERVICES AND DESIGN



Form 2A

Memorandum from licensed building practitioner: Certificate of design work Section 30C or section 45, Building Act 2004

The building

Street address of building:

135 Fitzherbert street

Featherston

THE OWNER

Name(s): Brookside Developmenets - Featherston Ltd - Ian McComb

Mailing address:

Suburb:

PO Box/Private Bag:

Town/City:

Postcode:

Phone number: 0223152592

Email address: smalltimedev@gmail.com

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies (✓)	
(V)	sole designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design myself – no other person will be providing any additional memoranda for the project
()	lead designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and no other person will be providing any additional memoranda for the project
()	lead designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the other designers will provide their own memoranda relating to their specific RBW design
()	specialist designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I, Willem van der Laan, carried out the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is restricted building work	Description	Carried out/ supervised	Reference to plans and
----------------------------------------------	-------------	-------------------------	------------------------

			specifications
<i>Tick (✓) if included</i> <i>Cross (X) if excluded</i>	<i>[If appropriate, provide details of the restricted building work]</i>	<i>[Specify whether you carried out this design work or supervised someone else carrying out this design work]</i>	<i>[If appropriate, specify references]</i>

Primary structure

All RBW Design work relating to B1 (v)		(v) Carried out () Supervised	
Foundations and subfloor framing (v)	NZS 3604	(v) Carried out () Supervised	
Walls ()	xxxxxxxxxxxxxx	() Carried out () Supervised	
Roof ()	xxxxxxxxxxxxxx	() Carried out () Supervised	
Columns and beams ()	xxxxxxxxxxxxxx	() Carried out () Supervised	
Bracing ()	xxxxxxxxxxxxxx	() Carried out () Supervised	
Other ()	xxxxxxxxxxxxxx	() Carried out () Supervised	

EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2

All RBW design work relating to E2 (v)		(v) Carried out () Supervised	
Damp proofing ()	xxxxxxxxxxxxxxxxxx	() Carried out () Supervised	
Roof cladding or roof cladding system ()	xxxxxxxxxxxxxxxxxx	() Carried out () Supervised	
Ventilation system (for example, subfloor or cavity) ()	xxxxxxxxxxxxxxxxxx	() Carried out () Supervised	
Wall cladding or wall cladding system ()	xxxxxxxxxxxxxxxxxx	() Carried out () Supervised	
Waterproofing ()	xxxxxxxxxxxxxxxxxx	() Carried out () Supervised	
Other ()	xxxxxxxxxxxxxxxxxx	() Carried out () Supervised	

FIRE SAFETY SYSTEMS: C1 – C6

Emergency warning systems, ()	xxxxxxxxxx	() Carried out	
--------------------------------	------------	-----------------	--

evacuation and fire service operation systems, suppression or control systems, or other		() Supervised	
-----------------------------------------------------------------------------------------	--	----------------	--

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

WAIVERS AND MODIFICATIONS

Waivers or modifications of the building code are required () Yes (v) No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
[List relevant clause numbers of building code]	[Specify nature of waiver or modification of building code]

ISSUED BY

Name: Willem van der Laan	LBP or Registration number: BP109511
The practitioner is a: (V) Design LBP () Registered architect () Chartered professional engineer	
Design Entity or Company (optional): CAD Services and Design	
Mailing address (if different from below): 219 Masterton Stronvar Road	
Street address / Registered office:	
Suburb: RD10	Town/City: Masterton
PO Box/Private Bag:	Postcode: 5890
Phone number: 06-370-1310	Mobile: 021-204-6155
Email address: cad.services.design@gmail.com	Website: www.cadservicesdesign.com

DECLARATION

I, Willem van der Laan, LBP,

state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code; or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature:

Date: 29/05/2019

GoGet Processing Summary Report

Consent No: 190160

Site Address: 135 Fitzherbert Street, Featherston

Description: Foundations & Drainage for Relocated Dwelling

Checklist/Elements	Status	Notes	Processed By
<u>Producer Statements (Form 302 V1.1)</u>	N/A		Mike Sims
<u>Processing Checklist - Residential & Commercial Buildings (Form 301C V1.18)</u>	Pass		Mike Sims, Sara Edney
Building Act/PIM/SWDC Internal TA process.	Pass		SE
%''GYW % 'g'U'D-A 'fYei jfYX'Zcf'hY' project?	Pass	2. SWDC Internal Project Information	SE
2. Sec 36 - Has a Development Contribution Notice been attached to the PIM?	N/A		SE
3. Sec 37 - Has a Certificate pursuant to Sec 37 of the BA 2004 been attached to the PIM requiring that a Resource Consent be obtained before building work may commence?	N/A		SE
4. Sec 39 - Are there any issues associated with Historic Places Trust?	N/A		SE
5. Sec 67 - Is the building consent subject to a waiver or modification?	N/A		SE
6. Sec 72 - Is land subject to natural hazards?	N/A		SE
7. Sec 75 - Is the building constructed on 2 or more allotments?	N/A		SE
8. Sec 84 - Is any part of the work Restricted building Work?	Pass		SE
- ""'GYW%& 'g'hY'Udd'jWhcb'Zcf'Ub' alteration to an existing building?	Pass		SE
10. Sec 113 - Does the building have a specified intended life?	N/A		SE
%&'GYW%& 'I' %& 'g'hY'dfcdcgYX'k cf_'N/A change in use, extension of life or subdivision of an existing building If s, determine if the territorial authority will allow the proposal?	N/A		SE
12. Sec 118 - Is access and facilities for the disabled required?	N/A		SE
13. Earthquake Prone Building - Is the building listed on the TA register for Earthquake Prone Buildings?	N/A		SE
14. Sec 269 - Does the application involve any certified building methods or products?	N/A		SE
15. Sec 363 - Are the public to be admitted to the building on payment or otherwise?	N/A		SE
16. Fire Service Act - Is an evacuation scheme required?	N/A		SE
17. Does the building require a BWO?	N/A		SE
18. Is a fireplace being installed?	N/A		SE
Conflict of Interest	Pass		MPS
Technical check completed by?	Pass	3) Building and Plumbing and Drainage e) Mike Sims	MPS
Is there no conflict of interest?	Pass	No conflict.	MPS

Checklist/Elements	Status	Notes	Processed By
Structural engineering or fire protection engineering peer review	N/A		MPS
Documentation	Pass		MPS
1. Has a comprehensive and relevant specification been provided?	Pass	Notes on plans sufficient for work proposed.	MPS
2. Has SED been provided, where required for: Ground works, Foundations, Concrete floors, Wall framing, Lintels, Steel structures, Roof framing.	N/A		MPS
3. Has the "means of compliance" been entered correctly on the building consent application form?	Pass		MPS
4. Does the application include the use of Alternative Solution(s)?	N/A		MPS
Groundworks/ Siting/ Site preparation (B1, B2, C6, E1)	Pass		MPS,SE
15. Does the site plan demonstrate distances to boundaries & other buildings on the site?	Pass	5m to nearest boundary	MPS
16. Are the boundary or building separation distances in relation to spread of fire correct? If so, refer to fire safety section of checklist.	Pass		MPS
17. Have special features of land or ground conditions been considered?	Pass	SWDC to assess None identified	MPS,SE
18. Is wind zone correctly specified for the site?	Pass	Designed to High , but VH on SWDC wind maps. If the house was assessed under 3604 High wind would comply. I've also checked and the sub-floor calcs would comply for EH also.	MPS
19. Will proposed excavations affect or impact on other buildings / properties?	N/A		MPS
20. Is the nominated exposure zone correct for the site?	Pass	a) Zone B	MPS
21. Are floor levels & datum provided to comply with E1?	Pass	FFI shown as 600 mm above FGL.	MPS
22. Do minimum floor levels apply?	N/A	SWDC to assess	MPS,SE
Footing/Foundation (B1, B2)	Pass		MPS,SE
25. Do special features of land require consideration in regard to footings/ foundations?	Pass	SWDC to assess None identified	MPS,SE
Are footing and foundations correctly detailed for the proposed floor loads/ cladding / number of storey's and sloping ground?	Pass	P4	MPS
29. Are all pad / post footing locations detailed & correctly sized?	N/A		MPS
30. Does concrete strength specified comply?	Pass	17.5 Mpa	MPS
31. Does any aspect of the footing / foundation design require checking by a structural engineer?	N/A		MPS
32. Are masonry blockwork details provided?	N/A		MPS
34. Do retaining wall foundations require tanking?	N/A		MPS
35. Are foundation / plate fixings correctly detailed /specified?	N/A		MPS
Piles (B1, B2)	Pass		MPS

Checklist/Elements	Status	Notes	Processed By
36. Does pile size and layout comply with floor load requirements?	Pass	125 x 125 piles @ 1.5m c/c	MPS
37. Are subfloor bracing calculations correct & does framing setout meet floor load demand?	Pass	6 APs. Designed to High wind , but even with VH wind the max 626 Bus required and Min 960 Bus provided.	MPS
38. Are pile footings size & connection details provided?	Pass	P5	MPS
39. Is timber pile grade & treatment correctly specified?	Pass	H5	MPS
40. Do pile heights comply?	Pass	FFL 600mm above FGL	MPS
Bearers (B1, B2)	N/A		MPS
Floor Joists (B1, B2)	N/A		MPS
Stringers (B1, B2)	N/A		MPS
Flooring (B1, B2)	N/A		MPS
Subfloor spaces (B1, B2, G4)	Pass		MPS
61. Is subfloor ventilation sufficient?	Pass	Base boards	MPS
62. Is a damp proof ground cover to be used?	N/A		MPS
Concrete floor (B1, B2)	N/A		MPS
Wall Framing (B1, B2)	N/A		MPS
Bracing (B1, B2)	N/A		MPS
Lintels & Beams (B1, B2)	N/A		MPS
Trussed Roof (B1, B2)	N/A		MPS
Roof Bracing (B1, B2)	N/A		MPS
Rafters (B1, B2)	N/A		MPS
Ridge Beams (B1, B2)	N/A		MPS
Ceiling Joists (B1, B2)	N/A		MPS
Valley Boards (B1, B2)	N/A		MPS
Strutting Beams (B1, B2)	N/A		MPS
Purlins (B1, B2)	N/A		MPS
Ceiling Battens (B1, B2)	N/A		MPS
Roof and Wall Claddings (B1, B2, E2)	N/A		MPS
ROOF CLADDINGS (B1, B2, E2)	N/A		MPS
Masonry Tiles (E2)	N/A		MPS
Pressed Metal Tiled Roofs (E2)	N/A		MPS
Profiled Metal (Roof E2)	N/A		MPS
Membrane Roofs (E2)	N/A		MPS
Masonry and Concrete Construction (E2)	N/A		MPS
WALL CLADDINGS - Brick Veneer (E2)	N/A		MPS
Fibre Cement Sheet Cladding (E2)	N/A		MPS
Fibre Cement Weatherboard (E2)	N/A		MPS
Plywood Cladding (E2)	N/A		MPS
Profiled Metal (Wall E2)	N/A		MPS
Stucco Cladding (E2)	N/A		MPS
Timber Weatherboard Cladding (E2)	N/A		MPS
EIFS (E2)	N/A		MPS
Earth Buildings (E2)	N/A		MPS
Parapets (E2)	N/A		MPS
Enclosed decks (B1, B2, E2, F4)	N/A		MPS

Checklist/Elements	Status	Notes	Processed By
Decks / Balconies / Barriers (B1, B2, E2, F4)	N/A	Schedule 1.	MPS
Carports/Pergolas/Verandahs (B1, B2, E1)	N/A		MPS
Chimney (B1, B2)	N/A		MPS
Stairs / Landings / Handrails (Internal and External) (D1, F4)	Pass		MPS
356. Are handrails specified/detailed and correctly located?	Pass		MPS
357. Has access to the main entrance of the building been provided in accordance with D1? Have access details been provided for all entry doors?	Pass	P2	MPS
358. Are visibility & lighting levels complying?	N/A		MPS
359. Do stairs specified comply for the intended use & area to which they provide access? Does the stair tread & rise constructions comply with the stair type?	Pass	P5 notes for main common stairs.	MPS
360. Do spiral or curved stair winder tread & rise comply?	N/A		MPS
362. Do landings provide 400mm clearance in front of door opening onto the landing?	N/A		MPS
Sound Transfer/Multi unit dwellings (G6)	N/A		MPS
Insulation (H1, E3)	N/A		MPS
Glazing (F2, G7)	N/A		MPS
Kitchen (G3, E3)	N/A		MPS
Wet area/showers (E3)	N/A		MPS
Ventilation (G4)	N/A		MPS
Warning Systems (F7)	Pass		MPS
288. Have domestic smoke alarm(s) been indicated?	Pass	P2	MPS
Laundry G2, G4)	N/A		MPS
Solid Fuel Heaters (B2, C2, E2, F7, G12)	N/A		MPS
Electricity (G9)	Pass		MPS
700. Is electrical work proposed?	Pass		MPS
Building Code C1-6 documents Fire Safety	N/A		MPS
Building Code D1 Access Routes	N/A		MPS
Building Code D2 Mechanical Installations for access	N/A		MPS
Building Code E1 Surface Water (see Surface water drains above)	N/A		MPS
Building Code F1 Hazardous Agents On Site	N/A		MPS
Building Code F2 Hazardous Building Materials.	N/A		MPS
Building Code F3 Hazardous Substances and Processes	N/A		MPS
Building Code F4 Safety From Falling	N/A		MPS
Building Code F5 Construction and Demolition Hazards	Pass		MPS
489. Have details of protection of the public around the construction site been provided?	Pass	P1 notes for F5	MPS

Checklist/Elements	Status	Notes	Processed By
Building Code F6 Lighting for Emergency	N/A		MPS
Building Code F7 Warning Systems (incl compliance schedule systems)	N/A		MPS
Building Code F8 Signs	N/A		MPS
Building Code G5 Interior Environment	N/A		MPS
Building Code G8 Artificial Light	N/A		MPS
Swimming Pools (B1, B2, F4, F9, G12, E1)	N/A		MPS
Pool & Fencing (B1, B2, F4, F9)	N/A		MPS
Doors and windows in immediate pool area (F9)	N/A		MPS
Pool Plumbing & Drainage (G12, E1)	N/A		MPS
Demolition (F5, G12, G13)	N/A		MPS
Plumbing and Drainage (E1, E3, F2, F7, G1, G4, G10, G11, G12, G13, H1)	Pass		MPS
430. Has a specification been provided for the sanitary plumbing and the drainage work?	Pass	On plans	MPS
431. Has appropriately licensed person been nominated to undertake the work of sanitary plumbing?	N/A	TBA	MPS
Sanitary Fixtures and appliances (G1)	N/A		MPS
Discharge pipes (waste, soil, ventilation and overflow pipes) (G13)	Pass		MPS
435. Are appropriate fixture discharge pipe sizes detailed?	Pass	P6 layout to AS 3500.2	MPS
436. Are appropriate combined discharge pipe system sizes detailed correctly?	Pass		MPS
437. Are appropriate ventilation pipe sizes detailed for kind of system?	Pass		MPS
439. Are appropriate overflows detailed, and do they comply?	N/A		MPS
442. Has schematic drawing for the pipe layout been provided?	N/A		MPS
Water Supplies (G12)	Pass		MPS
446. Is source and the location of cold water supply provided?	Pass	SWDC	MPS
447. Are the type and the location of hot water supply system provided? Selections:	Pass	c) Instantaneous VT26 Rinai Infinity	MPS
450. Are appropriate pipe sizes detailed?	N/A		MPS
451. Is an appropriate pipe material detailed for their proposed location within the overall installation?	Pass		MPS
455. Is the domestic combined sprinkler system design details and layout drawing provided?	N/A		MPS
456. Is insulation specified?	Pass		MPS
458. Is there a cross contamination risk?	N/A		MPS
459. Have appropriate backflow prevention measures been detailed? Selections:	N/A		MPS
Foul water drains (G13)	Pass		MPS
464. Has a schematic drainage plan been provided?	Pass	P6 layout to AS 3500.2	MPS
465. Are specified pipe materials and size	Pass		MPS

Checklist/Elements	Status	Notes	Processed By
appropriate for the kind of discharge to be handled?			
468. Is protection for drains specified?	Pass		MPS
469. Have existing records been checked to determine capacity, loadings or locations of any pre-existing systems?	Pass		MPS
471. Is the point of outfall identified?	Pass	NUO sewer	MPS
473. Is sufficient gradient achievable to enable a gravity drain between the head and the outfall of the drain?	Pass		MPS
474. Is overflow relief provision external to the building provided?	Pass		MPS
475. Is an appropriate means of water seal retention provided for gully trap/s?	Pass		MPS
476. Does the drain incorporate provisions for inspection and maintenance access, cleaning eyes, chambers or manholes?	Pass		MPS
477. Are any interceptor traps necessary and are they appropriate for purpose?	N/A		MPS
479. Is the drain appropriately ventilated?	Pass	50 TV OK for AS 3500.2	MPS
480. Is a soil engineers report and an appropriate design included for on site disposal system?	N/A		MPS
481. Is there any history of flooding on this site or nearby sites?	N/A		MPS
483. Is a grey water system proposed?	N/A		MPS
484. Are composting facilities proposed?	N/A		MPS
485. Is a recycled water system proposed?	N/A		MPS
486. Has a permitted alternate system provided with its installation details?	N/A		MPS
487. Have requirements of NUO, EHO, and Trade Waste bylaws been satisfied?	N/A		MPS
Surface water drains (E1, G13)	Pass		MPS
488. Is the point of outfall identified? NUO sewer, onsite disposal system ?	Pass	P6 shows S/W to soak pit. Calcs and detail provided.	MPS
489. Is the site in proximity of a water course or low lying or located on a secondary flow path?	N/A		MPS
492. Is the size of drain appropriate for flow load?	Pass		MPS
493. Does the drain incorporate provisions for inspection and maintenance access rodding points, chambers or manholes. ?	N/A		MPS
494. Are any interceptor traps necessary and are they appropriate for purpose?	N/A		MPS
496. If a water storage tank is provided has the overflow outlet been directed to an appropriate outfall?	N/A		MPS
Gutters and Downpipes (E1)	Pass		MPS
497. Have rainfall calculations been provided for the roof catchment?	Pass	1/60 DP for total roof areas 30m2	MPS
498. Have construction details for the soakpit been provided?	Pass		MPS
Small bathroom/kitchen alterations not requiring building processing (E3, F2, F7, G4)	N/A		MPS
Gas as an energy source (G10, G11)	Pass		MPS

Checklist/Elements	Status	Notes	Processed By
606. Is gas work proposed? If so, ensure an gas certificate is requested. Update Goget documentation and install an advice note.	Pass	Gas hot water	MPS
<u>Processing checklist - Minor works - Woodburners, swimming pools and Demolition (Form 301D V1.2)</u>	N/A		Mike Sims
<u>Building Consent Approval (Form 301E V1.2)</u>	Pass		Mike Sims
Building approval	Pass		MPS
Name	Pass	Mike Sims	MPS
Decision	Pass	Grant the consent	MPS
Reason for decision	Pass	Meets the building code	MPS
Date of decision.	Pass	24/5/19	MPS
Outcome	Pass	1. Update status in NCS to "From Building"	MPS
Plumbing & Drainage approval	Pass		MPS
Name	Pass	Mike Sims	MPS
Decision	Pass	Grant the consent	MPS
Reason for decision	Pass	Meets the building code	MPS
Date of decision.	Pass	24/5/19	MPS
Outcome	Pass	1. Update status in NCS to "From P&D".	MPS
<u>Building Consent Granting</u>	Pass		Sara Edney
Granting	Pass		SE
Name	Pass	Sara Edney	SE
Decision	Pass	Granted	SE
Reason for decision: (Selections)	Pass	a) Plans show compliance with NZBC b) All other BCO's have completed their processing c) All fees have been paid: (Selections)	SE
Date of decision.	Pass	29/5/19	SE
Outcome: (Selections)	Pass	a) Ok to grant building consent b) Status in NCS updated to show granted	SE
<u>Building Consent Issue (Form 301A and B)</u>	Pass		Adrian Cullen, Mary Wallace
Building Technical Support Officer (Form 301A V1.5).	Pass		MW
Is the physical PIM attached? Selections:	Pass	b) SWDC Internal PIM process completed	MW
Has everybody that should have seen the application seen the application and signed their respective parts off?	Pass		MW
Are the applicants copy and Councils copy identical?	Pass		MW
Have any amendments/variations been correctly incorporated in the final documents?	Pass		MW
Overview Goget to ensure all tasks completed correctly.	Pass		MW
Have all the checklists been fully completed?	Pass		MW
Have any consent notices on the CT been complied with?	Pass		MW
Print BC documents from NCS.	Pass		MW
Have all certificates/letters been printed Sec 36, 37, 72, and 75? (Selections)?	N/A		MW
Has Form 123 or 124 been received from the owner if in Sec 72 or 75 applies?	N/A		MW
Print Required Items Letter from Goget	Pass		MW
Ensure all plans and documents have been collated correctly and stamped.	Pass		MW

Checklist/Elements	Status	Notes	Processed By
Have all fees been paid?	Pass		MW
Check documentation screen on Goget system has been completed.	Pass		MW
Have all the LBP's details been supplied so inspections can be booked?	Pass		MW
Ready to issue Building Consent?	Pass		MW
Building Control Team Leader - Levels R2, R3, C1, C2, and C3 buildings only (Form 301B V1.7)	N/A		AC
Building Control Team Leader - All levels of buildings (Form 301B V1.7)	Pass		AC
Has the Building Admin Officers sign-off been completed on Goget?	Pass	complete	AC
Check PIM details correct?	Pass	checked and correct	AC
Sign plans & approval document	Pass	signed and dated	AC
Print to PDF "Processing Summary report" and "RFI" reports	Pass	saved to approved file	AC
Update NCS to Issued status	Pass	updated	AC
<u>Request for Further Information:</u>			
Request: CCC required for BC180320 before consent can be issued.			SE
Response: CCC supplied			SE

GoGet Request for Information Report

Consent No: 190160

Type	Created	Signed Off
RFI 1	30 May 2019 Sara Edney	14 Aug 2019 Sara Edney
Details: CCC required for BC180320 before consent can be issued.		
<i>Response: CCC supplied</i>		


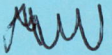
SWDC BUILDING CONSENT

PIM/SWDC Internal TA process Tracking Sheet

(Please cross out process not applicable)

BC No 190160

Received: 22/05/2019

	Date In	Date Out	Initials
Planning (all consents)	22/05/19	30/5/19	
Services (excludes solid fuel heaters)			
Health (all commercial)			
Building (all consents) Complete Form 119 on Goget.	30/5/19	16/8/19	

PIM CHECKLIST

Date 30/5/19Building Consent ref 190160 Valuation 18450-31998 Planner HTBAddress 135 Fitzherbert St Esh Work Dwelling - transportable➤ **Zone (WCDP):** Urban - Residential➤ **Management Area?:** N/A➤ **Address? Has it got one? if no; Urban - allocate one; Rural - add following blurb as a PIM note;**

This site does not have a rural address (RAPID number). A RAPID number can be obtained by completing and submitting a RAPID application form to Council. The form can be found at the following link;
<http://www.swdc.govt.nz/sites/default/files/RAPID%20application%20form.pdf>

➤ **Planning Map Notations? (flood hazard, designations, etc)**

Y/N

➤ **Listed building?**

Y/N

➤ **Heritage Precinct?**

Y/N

Include following blurb as a PIM note:

This site is located within the Heritage Precinct and any works onsite may require resource consent from Council, and possibly an authority from Heritage New Zealand under the Heritage New Zealand Pouhere Taonga Act 2014. Heritage New Zealand can be contacted at the Wellington Branch on 04 494 8320 or by email on infocentral@heritage.org.nz

➤ **Certificate of Title**

No more than 3 months old

Consent Notices? (check that BC complies)

Any covenants, easements that impact on building project?

Clear of easements.
☒
 Y/N
 Y/N
➤ **NES**

NES Hail site? Check SLUR and Retro-lens. Watch for orchards and sheep dips (woolshed indicates possible sheep dip location)

Y/N

➤ **HAZARDS / CONSTRAINTS**

Wellington Regional Council flood maps and fault lines on GIS.

Y/N

New Zealand Archeological site. Check Archsite.

Y/N

Anything else? _____

Y/N

➤ **Existing BC or RC? (do they have an impact on the building project?)**

➤ **Any subdivision consents still in progress (e.g. 223 and 224 incomplete)?**
 Building department advised?

 Y/N
 Y/N/NA
➤ **Permitted Standards (Wairarapa Combined District Plan)****4.5.2 Rural Zone Permitted Activity Standards**

- (a) Maximum Building Height
- (b) Maximum height to boundary
- (c) Minimum Building Setback (excluding dwellings)
- (d) Minimum Dwelling Setback
- (e) Number of Dwellings

- (f) Access; formed entrance, sight lines
- (g) Signs
- (h) Sheds (consider future use; is it permitted?)
- (i) Relocate?
- (j) Intensive farming?

5.5.2 Residential Zone Permitted Activity Standards

- (a) Maximum Building Height ✓
- (b) Maximum Height to Boundary ✓
- (c) Minimum Building Setback ✓
- (d) Maximum Fence Height N/A
- (e) Number of Dwellings ✓
- (f) Check non-residential activity compliance. N/A
- (g) Character area N/A
- (h) Access, formed entrance, parking and onsite turning ✓

If in Greytown Villas/Jellicoe Residential Character Area, check standards under 5.5.4

6.5.2 & 7.5.2 Commercial and Industrial Zone Permitted Activity Standards

- (a) Maximum Building Height
- (b) Maximum Height to Boundary
- (c) Minimum Building Setback
- (d) Maximum Fence Height
- (e) Noise Limits
- (f) Signs
- (g) Roads, Access, Parking and Loading Areas
- (h) Landscape and Screening (in relation to residential zone)
- (i) Retail Activities (Industrial Zone)

➤ Are there any District-wide Permitted Activity Standards that apply (Section 21 p.183)?

Yes, list:

Y/N

➤ Contributions? See WCDP Chapter 23

Additional unit / service connection?

- reserve fund contribution (residential unit)
- infrastructure contributions (if serviced)

➤ Resource Consent Required?

Is resource consent required for the "Use" or building under either:

- a) The Permitted Activity Standards and/or;
- b) The District-wide Land Use Rules (section 21)

Y/N
Y/N

Under what Rule(s)?

BUT WAIT... DO EXISTING USE RIGHTS APPLY UNDER S10?

Y/N



Job Name Gattsche Tiny House
Site address 135 Fitzherbert street, Featherston

Job Number 1836-II

Downpipe & soakage pit design in accordance with Clause E1 NZBC
From Table 5

Table 5: Downpipe Sizes for Given Roof Pitch and Area
Paragraph 4.2.1

Downpipe size (mm) (minimum internal sizes)	Roof pitch			
	0-25°	25-35°	35-45°	45-55°
Plan area of roof served by the downpipe (m²)				
63 mm diameter	60	50	40	35
74 mm diameter	85	70	60	50
100 mm diameter	155	130	110	90
150 mm diameter	350	290	250	200
65 x 50 rectangular	60	50	40	35
100 x 50 rectangular	100	80	70	60
75 x 75 rectangular	110	90	80	65
100 x 75 rectangular	150	120	105	90

Downpipe size/roof pitch/max. roof area

	Roof Area m²	Roof pitch	Pipe dia. mm²	Pipe discharge capacity m²	No. of DP required
Roof area 1	41.0	15	60	60	1
Roof area 2					
Roof area 3					
Roof area 4					

Total Roof Area 41.0

Gutter size/roof pitch/max roof area

from figs. 15 and 16 - check for gutter size to find required DP's

	Roof Area m²	No of DP's	Roof area /DP	CSA req'd from fig 15 & 16	CSA of gutter from manufacturer	Check
Roof area 1	41.0	1	41.0	4000	5100	OK
Roof area 2						Not OK
Roof area 3						Not OK
Roof area 4						Not OK
Gutter type						Stormcloud

Figure 15: Cross-sectional Area of External Gutter
Paragraphs 5.1.2 and 5.1.3

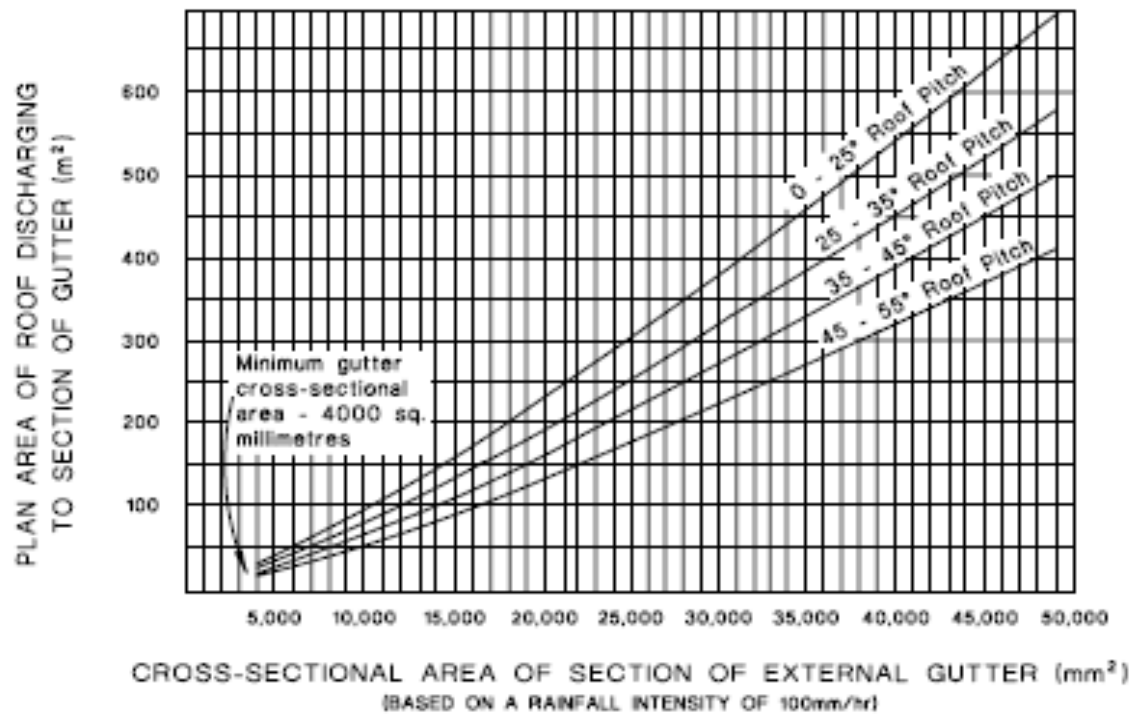
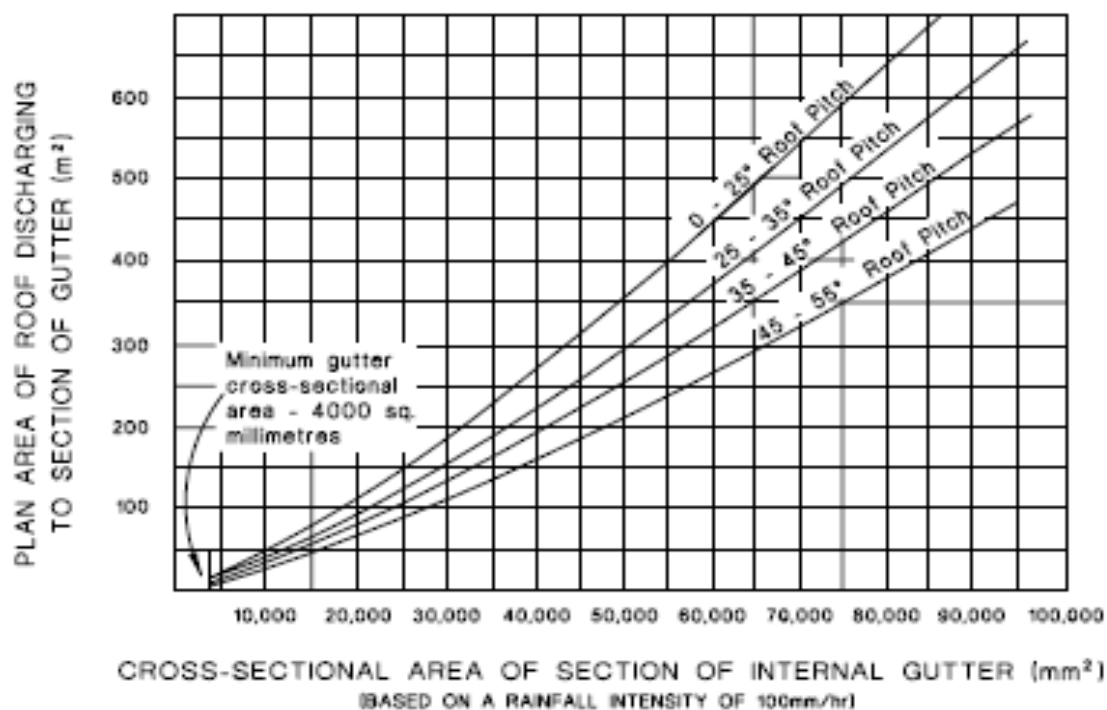


Figure 16: Cross-sectional Area of Internal Gutter
Paragraphs 5.1.2 and 5.1.3



Soakage Pit Design - 10year storm return period

Rainfall Intensity from HIRDS v3

Run off Coefficient

Area

<https://hirds.niwa.govt.nz/>

I = 23.1 mm/hr

C = 0.9

A = 41.0 m²

Roof Run-off

Rc=10.C.I.A 0.9 m³/Hr

V-soak

Plan area of soak hole

Asp 2.0 m²

Soakage rate

Sr 100.0 mm/hr

Amount soakage / hr

V soak= Asp Sr/1000 0.2

Vstore = RC less Vsoak

0.7 m³

Volume of soakpit for 1hr storage=Vstore / 0.38 (bolder type)

1.72 m³

Min Volume Soakpit= 1.7 m³

Table 1: Run-off Coefficients Paragraphs 2.0.1, 2.1.1, 2.1.3	
Description of surface	C
Natural surface types	
Bare impermeable clay with no interception channels or run-off control	0.70
Bare uncultivated soil of medium soakage	0.60
Heavy clay soil types:	
– pasture and grass cover	0.40
– bush and scrub cover	0.35
– cultivated	0.30
Medium soakage soil types:	
– pasture and scrub cover	0.30
– bush and scrub cover	0.25
– cultivated	0.20
High soakage gravel, sandy and volcanic soil types:	
– pasture and scrub cover	0.20
– bush and scrub cover	0.15
– cultivated	0.10
Parks, playgrounds and reserves:	
– mainly grassed	0.30
– predominantly bush	0.25
Gardens, lawns, etc.	0.25
Developed surface types	
Fully roofed and/or sealed developments	0.90
Steel and non-absorbent roof surfaces	0.90
Asphalt and concrete paved surfaces	0.85
Near flat and slightly absorbent roof surfaces	0.80
Stone, brick and precast concrete paving panels	
– with sealed joints	0.80
– with open joints	0.60
Unsealed roads	0.50
Railway and unsealed yards and similar surfaces	0.35
Land use types	
Industrial, commercial, shopping areas and town house developments	0.65
Residential areas in which the impervious area is less than 36% of gross area	0.45
Residential areas in which impervious area is 36% to 50% of gross area	0.55
Note: Where the Impervious area exceeds 50% of gross area, use method of Paragraph 2.1.2.	

Assumed known soakage rates (Sr)

Loose gravels	400
Clay	100
Silty gravels	250

Gutter type and manufacturer CSA

125 box gutter	Metalcraft	8435
175 box gutter	Metalcraft	19250
300 box gutter	Metalcraft	27000
Highline	Metalcraft	7550
Squareline	Metalcraft	6090
Colonial quad	Metalcraft	5550
Half round	Metalcraft	5650
Quarter round	Metalcraft	4880
Classic	Marley	6700
Stormcloud	Marley	5100
FL2	Marley	4800
Typhoon	Marley	6100
Magnum	Marley	14300

Demand Calculation Sheet

SWDC
Building Consent Document

Job Details

Name: Tiney House
Street and Number: 135 Fitzherbert street
Lot and DP Number: Lot 2 DP 21561
City/Town/District: Featherston
Designer: Willem van der Laan
Company: CAD Services and Design
Date: Friday, 17 May 2019

Building Specification

Number of Storeys: 1
Floor Loading: 2 kPa
Foundation Type: Subfloor
Subfloor Cladding Weight: Light

Single

Cladding Weight: Light
Roof Weight: Light
Room in Roof Space: 37.5 to 50%
Roof Pitch (degrees): 15
Roof Height above Eaves (m): 1.5
Building Height to Apex (m): 4.6
Ground to Lower Floor (m): 0.6

Average Stud Height (m): 2.4
Building Length (m): 6
Building Width (m): 4
Building Plan Area (m²): 25

Building Location

Wind Zone = High

Earthquake Zone 3

Soil Type: D & E (Deep to Very Soft)
Annual Prob. of Exceedance: 1 in 500 (Default)

Bracing Units required for Wind

	Along	Across
Single Level	179	228
Subfloor Level	458	502

Bracing Units required for Earthquake

	Along & Across
Single Level	370
Subfloor Level	448



Subfloor Level Along Resistance Sheet

SWDC
Building Consent Document

Job Name: Tiney House

Wind	EQ
Demand	
458	448
Achieved	

Line	Element	Length (m)	Angle (degrees)		Type	Supplier	Wind (BUs)	EQ (BUs)	NaN%	NaN%
A	1	3.00			Anchor Pile	NZS3604				
B	1	3.00			Anchor Pile	NZS3604				



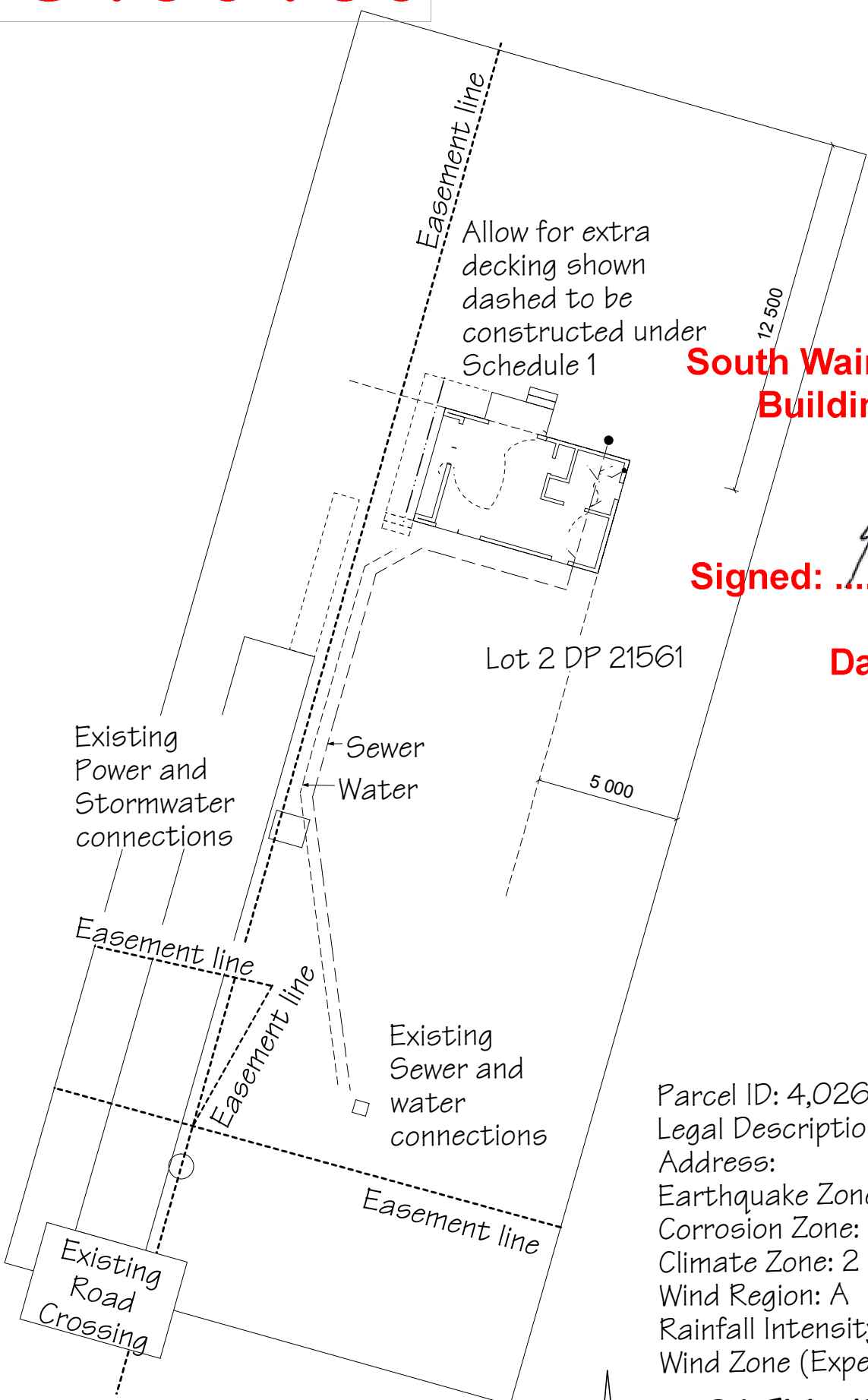
Subfloor Level Across Resistance Sheet

SWDC
Building Consent Document

Job Name: Tiney House

Wind	EQ
Demand	
502	448
Achieved	

Line	Element	Length (m)	Angle (degrees)		Type	Supplier	Wind (BUs)	EQ (BUs)	NaN%	NaN%
M	1	2.00			Anchor Pile	NZS3604				
N	1	2.00			Anchor Pile	NZS3604				
O	1	2.00			Anchor Pile	NZS3604				



South Wairarapa District Council
Building Consent Issued

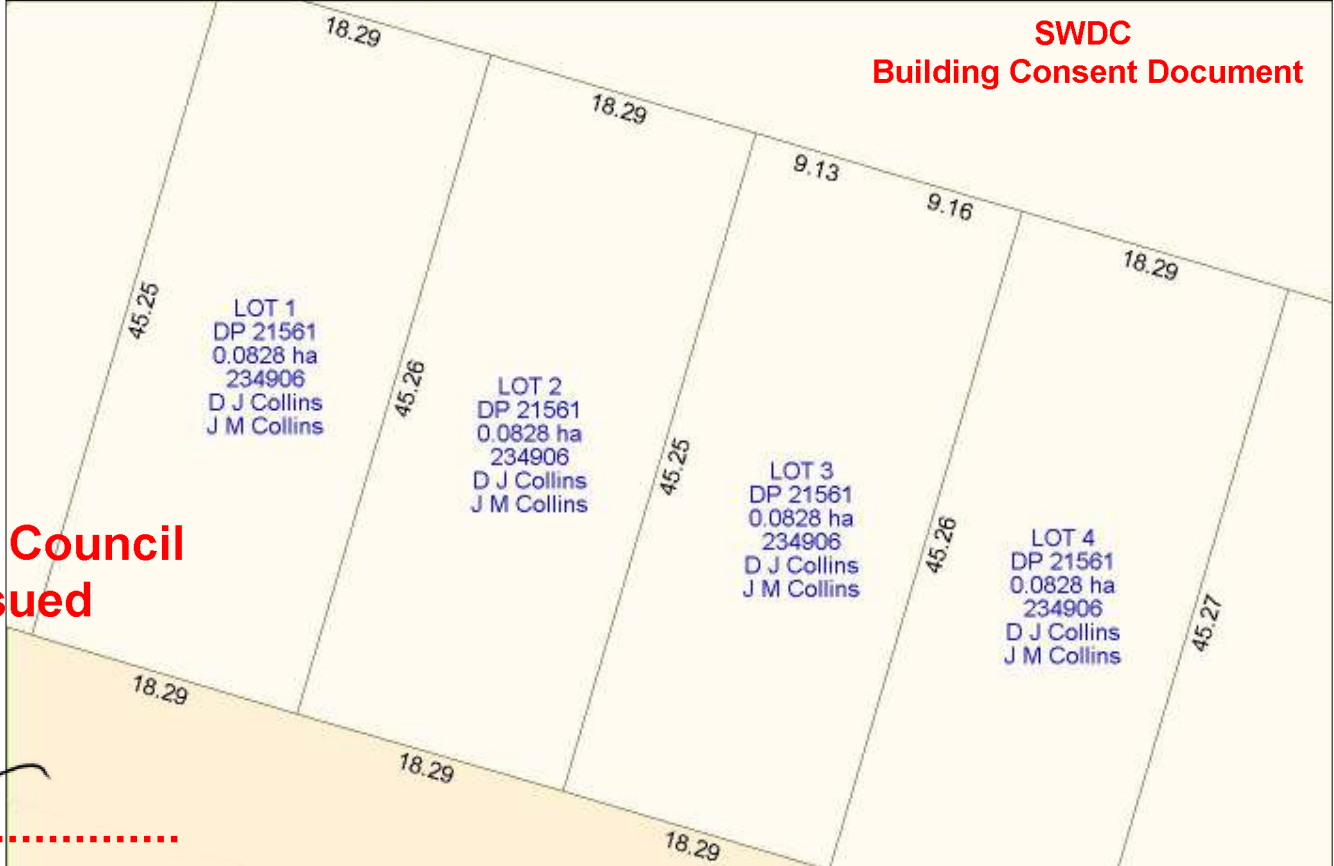
Signed: 

Date: 15/08/2019
BC190160

No deviation shall be permitted from the approved plans without written approval from the building consent authority.
Foundations to be inspected when all reinforcing is in position and before any concrete is placed.

Parcel ID: 4,026,539.00
Legal Description: Lot 2 DP 21561
Address:
Earthquake Zone: Zone 3
Corrosion Zone: Zone B
Climate Zone: 2
Wind Region: A
Rainfall Intensity (range): 60 - 70
Wind Zone (Experimental): High

 SITE PLAN
1:200

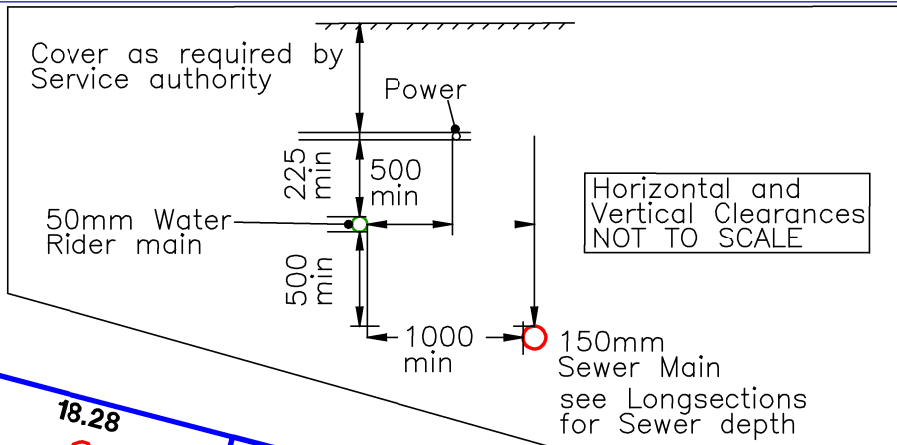


OBJECTIVE
F5.1 The objective of this provision is to safeguard people from injury, and other property from damage, caused by construction or demolition site hazards.

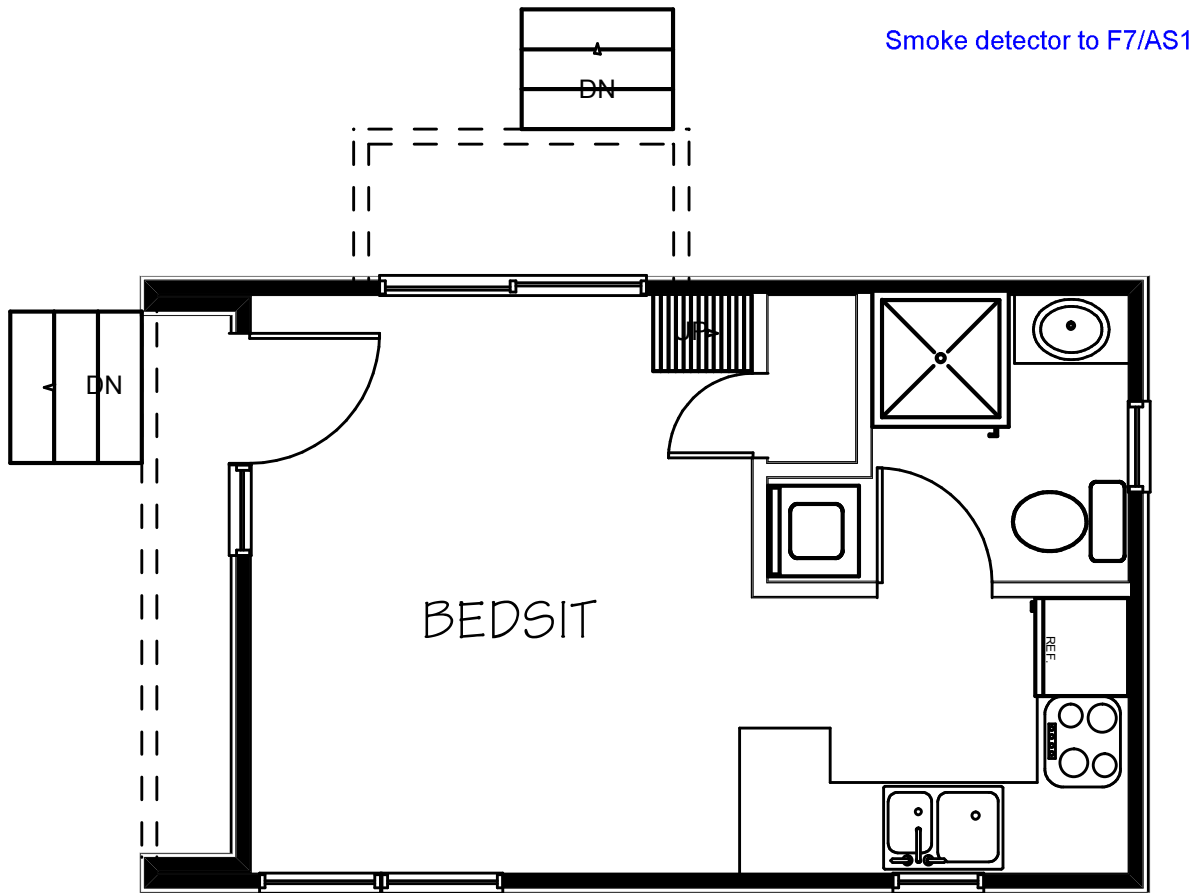
FUNCTIONAL REQUIREMENT
F5.2 Construction and demolition work on buildings shall be performed in a manner that avoids the likelihood of:
(a) Objects falling onto people on or off the site,
(b) Objects falling on property off the site,
(c) Other hazards arising on the site affecting people off the site and other property, and
(d) Unauthorised entry of children to hazards on the site.

PERFORMANCE
F5.3.3 Where a construction or demolition site contains any hazard which might be expected to attract the unauthorised entry of children, the hazard shall be enclosed to restrict access by children.

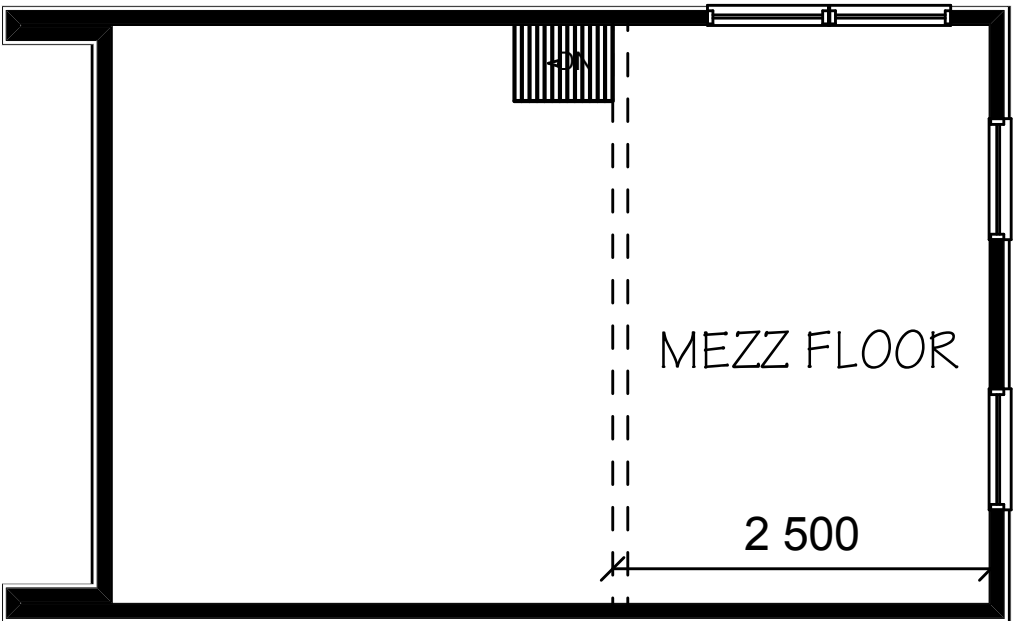
F5.3.4 Suitable barriers shall be constructed to provide a safe route for people where lifting equipment creates a risk of accident from objects falling on a place of public access, or where a similar risk results from the height at which construction or demolition work is being carried out.



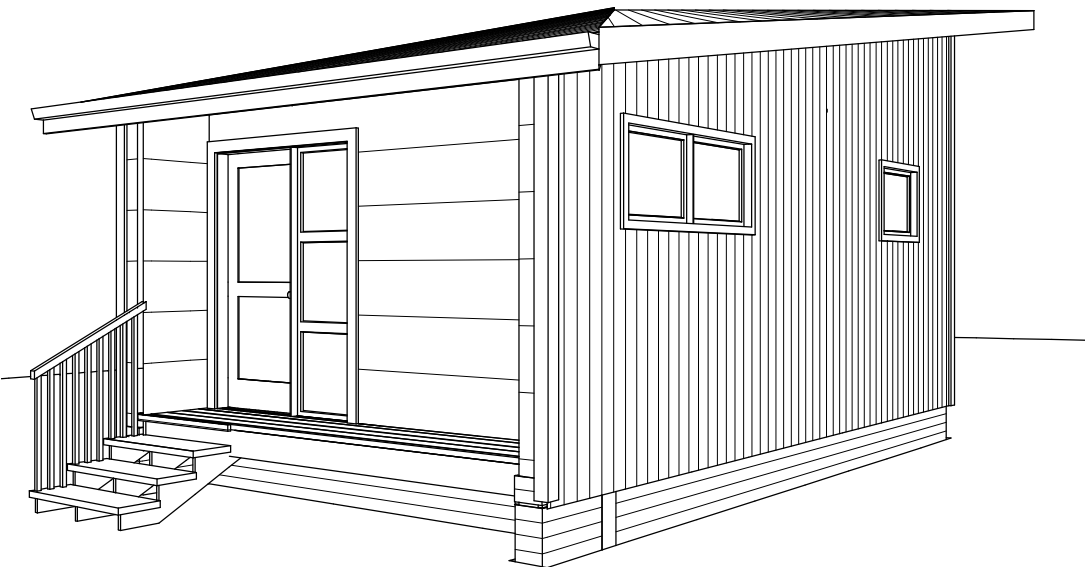
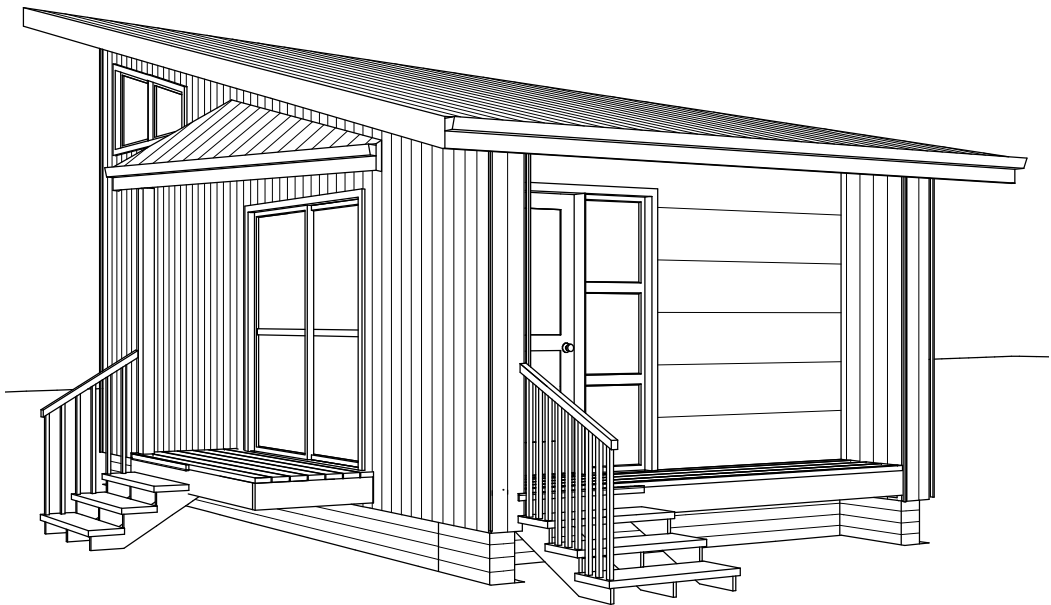
Existing floor plan



FLOOR PLAN
1:50



FLOOR PLAN MEZZ FLOOR
1:50

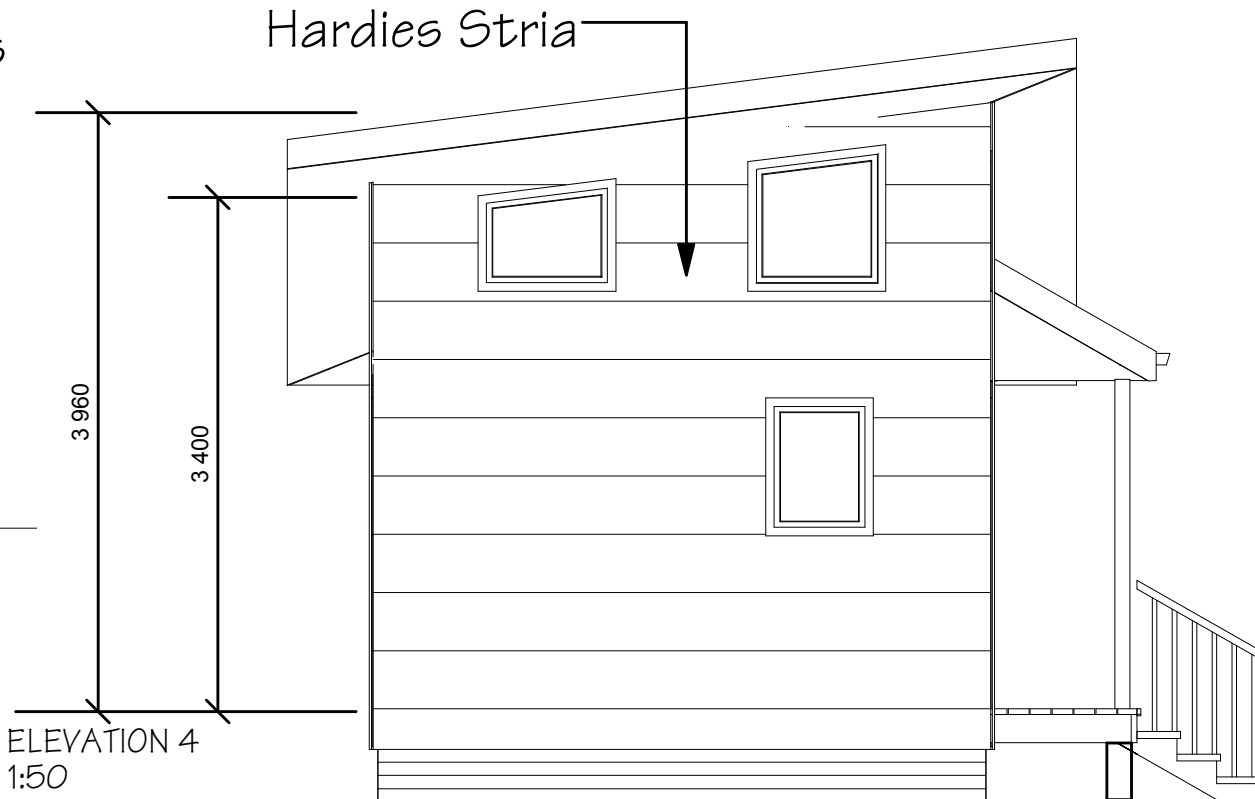
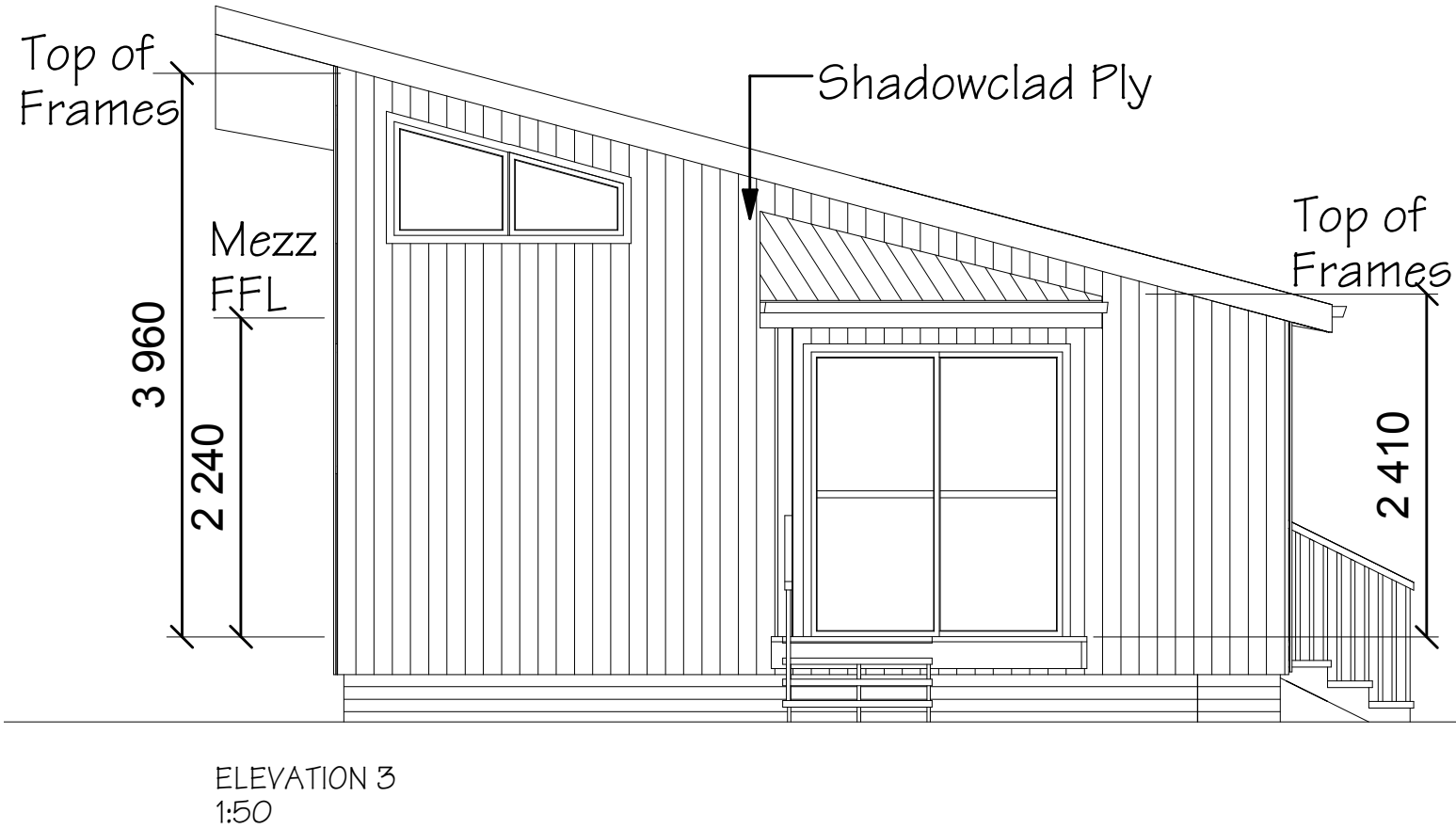
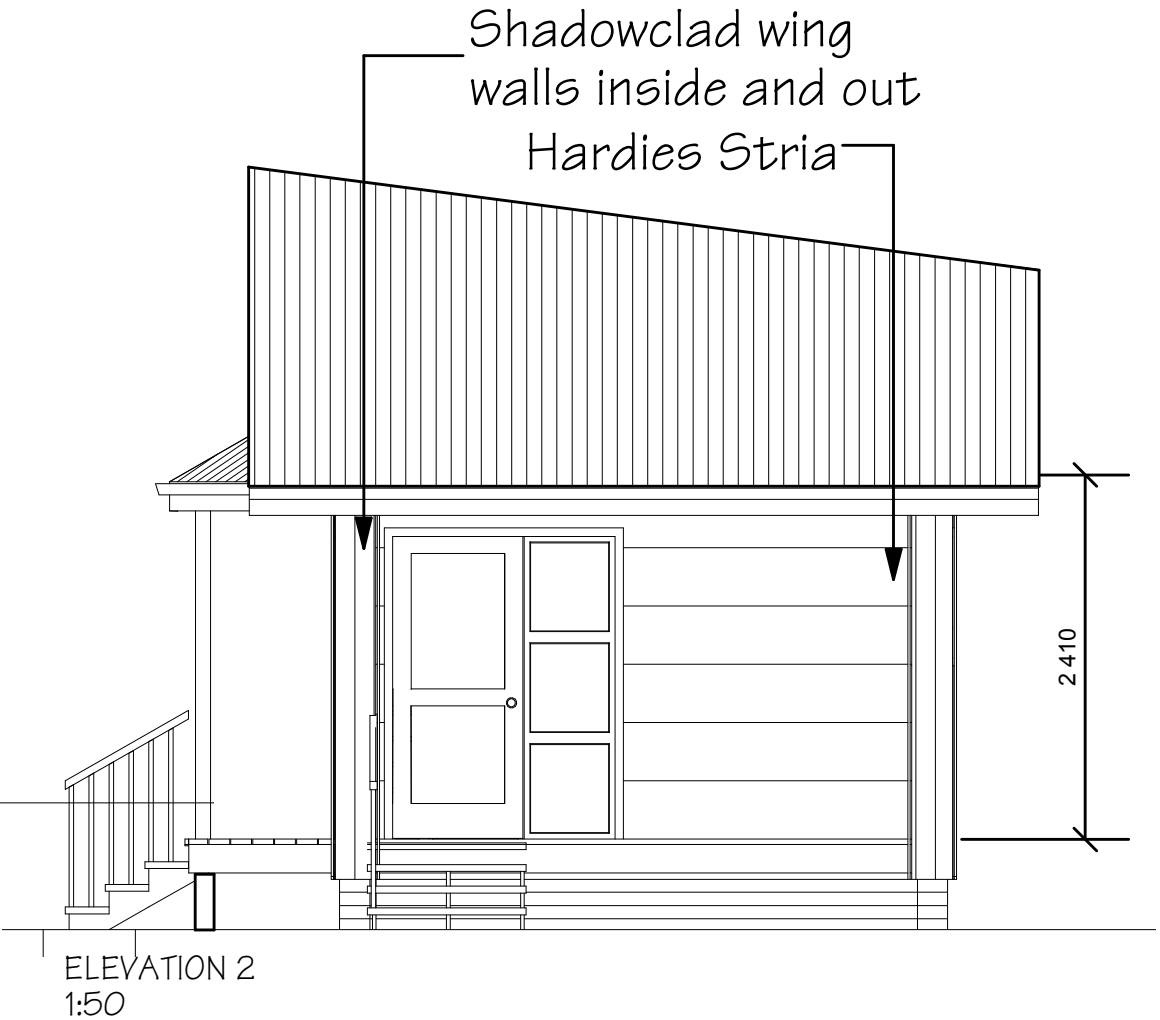
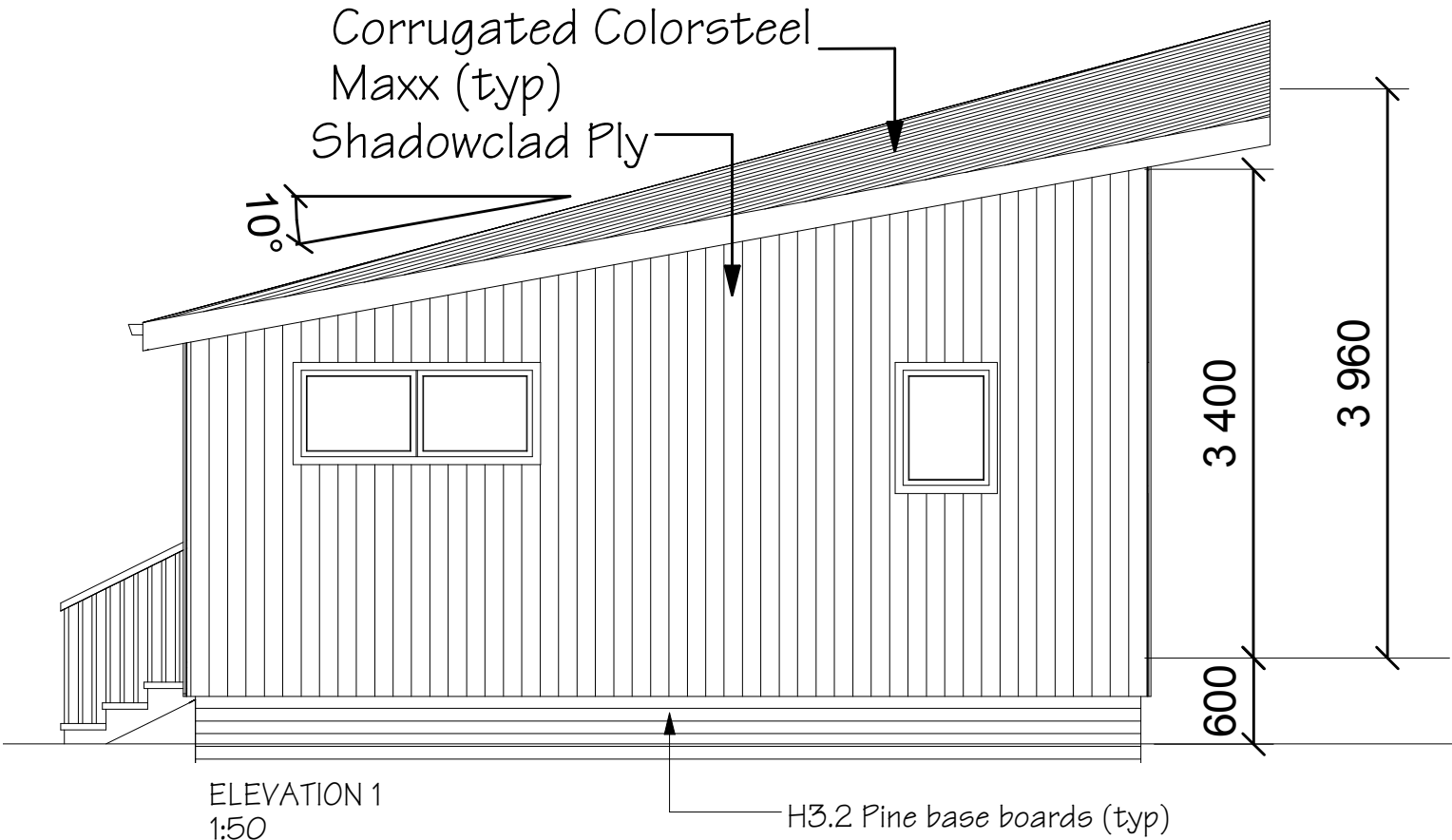


Sheet	2
of	13
Project #	1836-II
Issue:	Consent Issue
Amendts:	Date:
R1	

Gattsche House- Tiny House
135 Fitzherbert street, Featherston
Lot 2 DP 21561


CAD SERVICES AND DESIGN
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Mobile 021-204-6155
email: cad.services.design@gmail.com
website: www.cadservicesdesign.com

Drawn	WPL
Date:	17/05/2019
Scale:	Sheet size: A3
CHECK ALL MEASUREMENTS ON SITE	

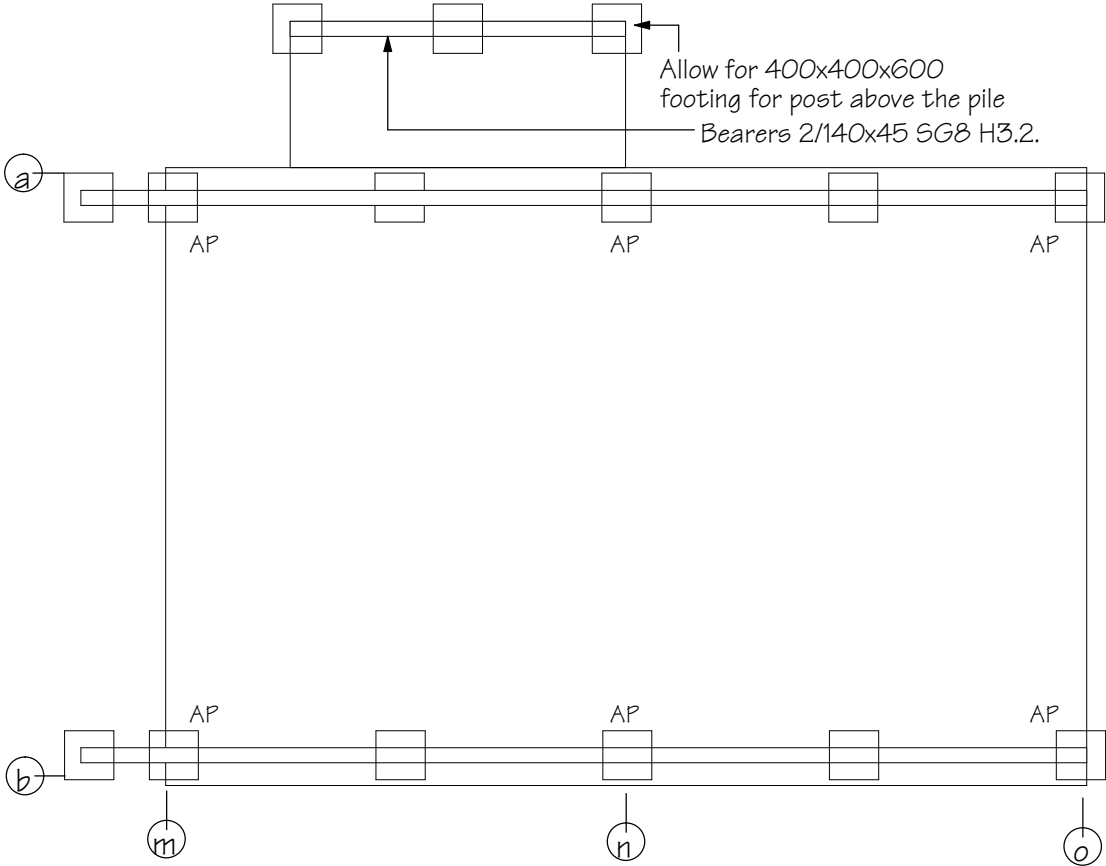


Sheet 3	
of 13	
Project # 1836-II	
Issue: Consent Issue	
Amendts: R3	Date:

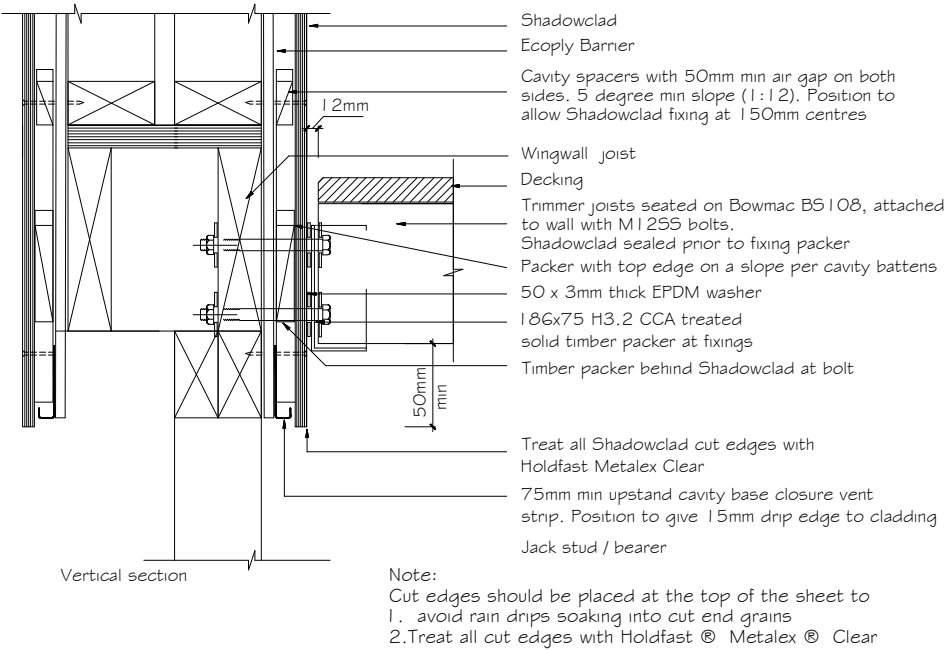
Gattsche House- Tiny House
135 Fitzherbert street, Featherston
Lot 2 DP 21561

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website: www.cadservicesdesign.com

Drawn WPL
Date: 17/05/2019
Scale: Sheet size: A3
CHECK ALL MEASUREMENTS ON SITE



FOUNDATION PLAN
1:50



Shadowclad Wingwall to Front Deck joist connection.

NOTE: All standard piles, 125x125 H5 set in 300x300 concrete, 17.5MPa minimum Pile to bearer fixing: Lumberlok ordinary pile fixing pack or equivalent. All anchor piles 125x125 H5 at 900 deep in 350x350 concrete, 17.5 MPa minimum. Anchor pile to bearer fixing:Lumberlok 12kN pile fixing pack or equivalent. (note: joist to bearer transfered connection of 12kN) All piles at 1500 centres except where noted. Nominal FFI=600 above ground. Foundation based on level site.	
CORROSION HAZARD USE TABLE	
Standard Pack (Std) All items Hot Dipped Galvanised	Outside geothermal areas Outside sea spray zones All sheltered fixing above 600mm from FGL
Medium Corrosion Pack (MC) Pile to bearer fixing T304 SS Joist to bearer fixing HDG	Outside geothermal areas Outside sea spray zones Only joist to bearer fixing above 600mm from FGL
High Corrosion Pack (HC) All items T304 SS	Sea spray zones All exposed fixings and below 600mm from FGL

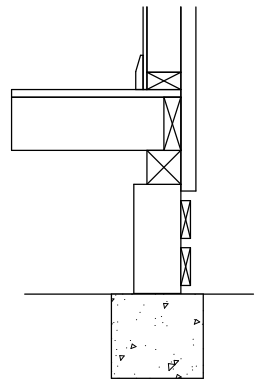
Sheet	4
of	13
Project #	1836-II
Issue:	Consent Issue
Ammdnts:	Date:
R2	

Gattsche House- Tiny House
135 Fitzherbert street, Featherston
Lot 2 DP 21561



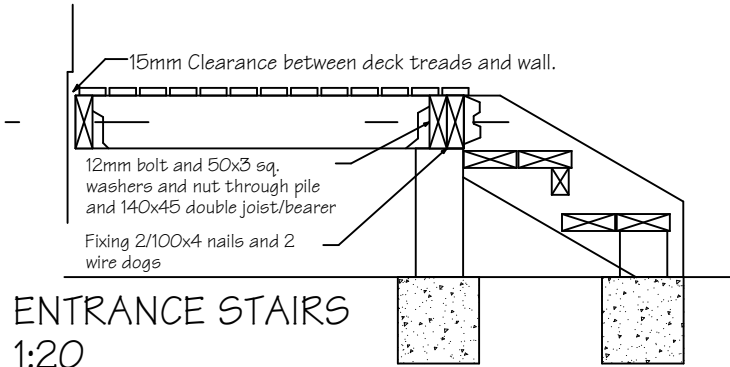
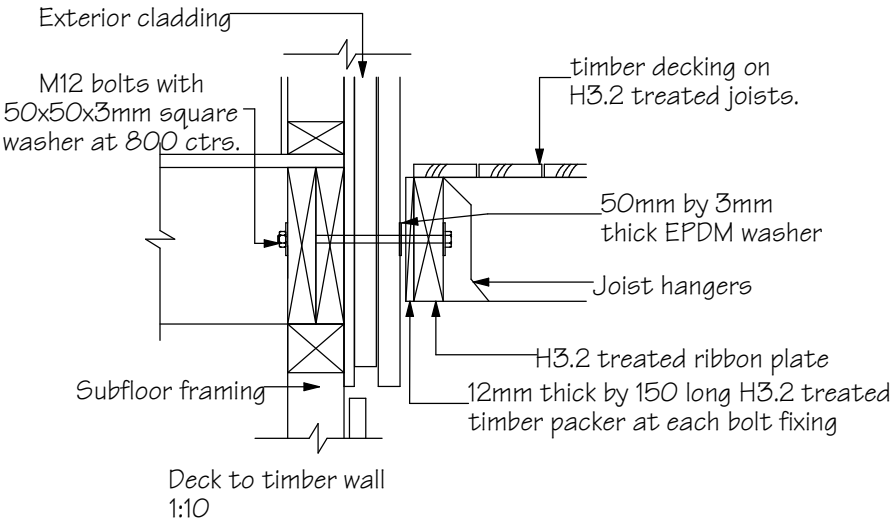
CAD SERVICES AND DESIGN
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Drawn	WPL
Date:	17/05/2019
Scale:	Sheet size: A3
CHECK ALL MEASUREMENTS ON SITE	



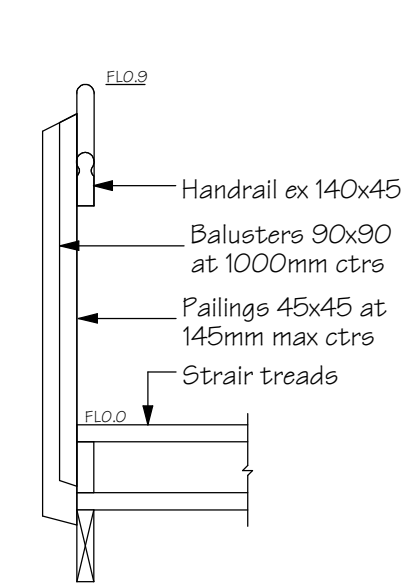
SUBFLOOR VENTILATION 1:20

Subfloor ventilation will consist of 100x25 or 150x25 H3.2 boards with 25mm spacing between boards.

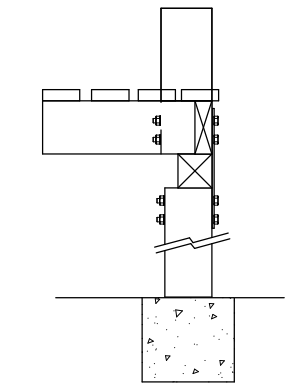


ENTRANCE STAIRS 1:20

Entrance stairs to rear and front doors and decks.
Nominal height 500mm, two treads 166 rise, 290 going.
Stair treads 140x45 H3.2 with grooves cut to top of treads.
20x70 grip tread decking H3.2 for any landings.
Set on 140 x45 H3.2 joists at 450 ctrs max
and 125x125 H5 piles set in 275x275 concrete, 17.5MPa.
Fixing to house or deck by M12 galv coach screws at 800 ctrs.
(T304 Stainless fasteners for sea spray areas and below 600mm)



TYPICAL STAIR BALUSTER AND HANDRAIL DETAIL 1:20



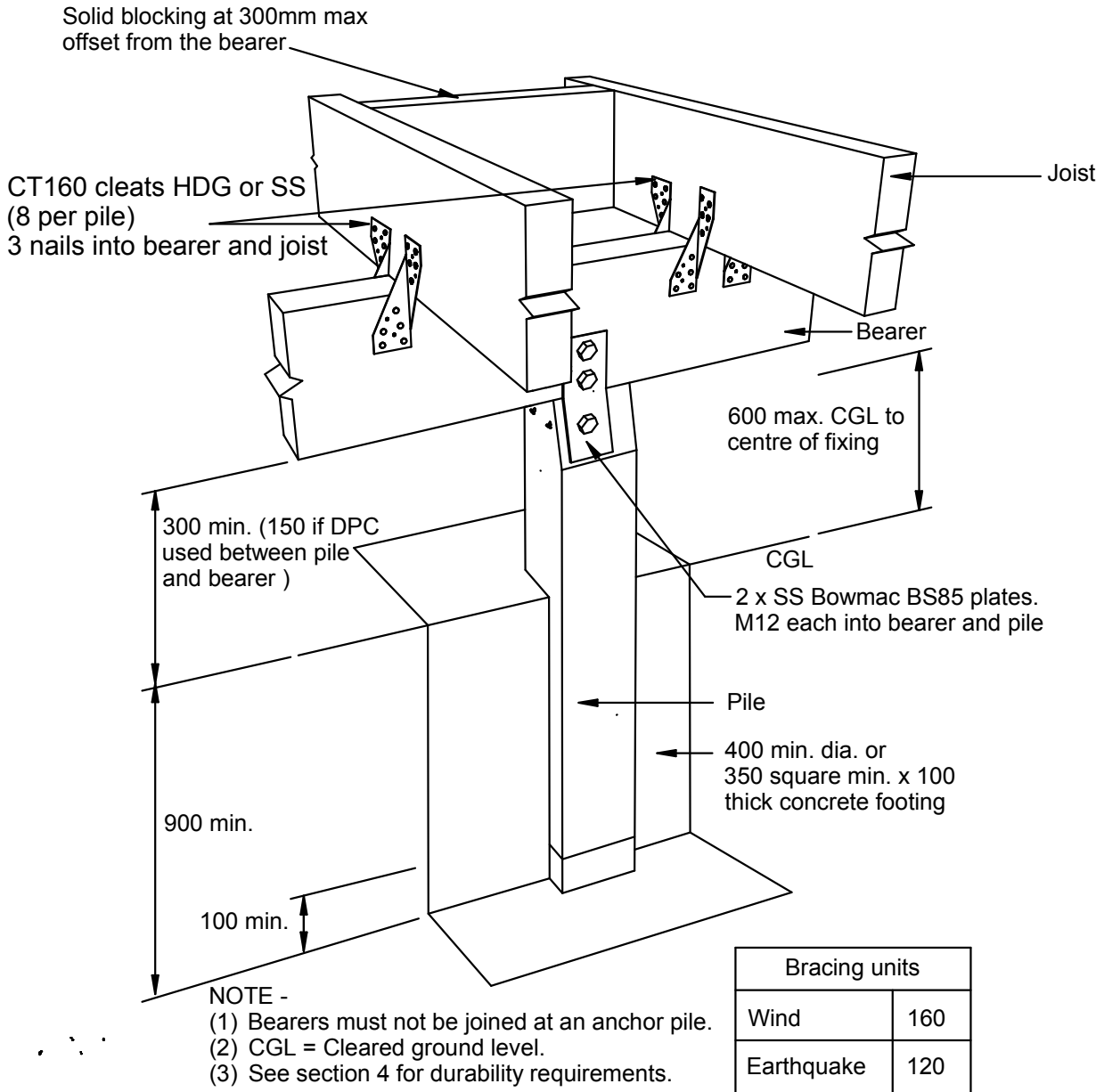
Post to bearer fixing 1:20

Post to bearer fixing:
(exposed and seaspray) Use Bowmac B88 T304 SS or galv plate and 4/M12 galv bolts, nuts and 50x3 square washers with additional 120mm min. paint protection. (sheltered)
Galvanised version.

FIXINGS:

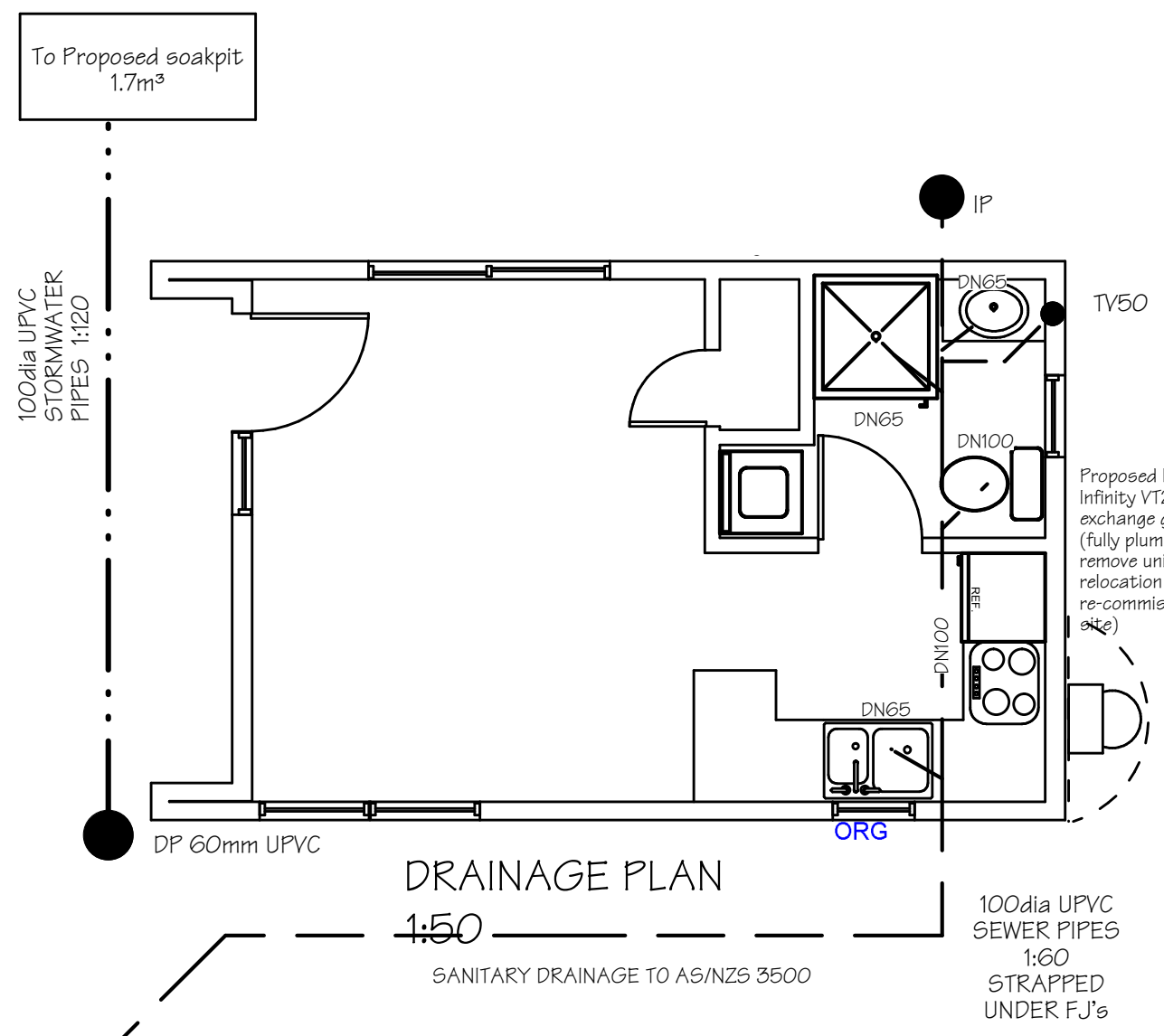
NOTE: ALL FIXING ARE TO BE STAINLESS TO MEET ZONE D DEMANDS.

Trusses and rafters to top plate:	2/100 x 3.75 skewed nails plus two Lumberlok CT200 ceiling ties, or as recommended by roof truss manufacturer.
Top plate to studs (external walls):	2/100 x 3.75 nails end driven plus two wire dogs.
Top plate to studs (internal walls):	2/100 x 3.75 nails, end driven.
Studs to bottom plate, wall bracing element:	2/100 x 3.75 nails, end driven, plus one 6Kn strap.
Bottom plate to floor joists:	2/100 x 3.75 skewed nails at 600 ctrs.
Bottom plate to floor joists, wall bracing element:	GIB HandiBrac giving 15kN
Joists to bearer:	2/100 x 3.75 skewed nails.
Bearer to ordinary piles:	2/M12 SS bolts and Bowmac BS85 plates
Bearer to anchor piles:	2/M12 SS bolts and Bowmac BS85 plates
Deck joists to stringer:	Lumberlok joist hangers.
Verandah stringer to wal:	M12 coach bolts and washers at 1200 ctrs.
Verandah rafter to stringer and beam:	2/100 x 3.75 skewed nails plus one wire dog.



NOTE -
(1) Bearers must not be joined at an anchor pile.
(2) CGL = Cleared ground level.
(3) See section 4 for durability requirements.

Bracing units	
Wind	160
Earthquake	120



Water supply:
12mm Polybutylene with crimped fittings.
All HW and exposed pipes insulated with Isopipe
All tapware must be approved in NZ for lead levels.

Wastes and grades:
Sink and tub DN50 (1:40)
WC DN100 (1:60)
All others DN40 (1:40)

Kitchenette, laundry and bathroom floor coverings :Vinyl
All walls and ceilings GIB Aqualine, sealed and two top coats.

Kitchenette, laundry, bathroom vented to the outside via window.

